3200 W 300 N, West Point, UT 84015
801.776.0970

WEST POINT CITY COUNCIL
MEETING NOTICE & AGENDA
April 19th, 2022
WEST POINT CITY HALL

Mayor
Brian Vincent
Council
Gary Petersen, Mayor Pro Tem
Jerry Chatterton
Annette Judd
Brad Lee
Michele Swenson
City Manager
Kyle Laws

THIS PUBLIC MEETING WILL BE HELD IN-PERSON AT WEST POINT CITY HALL AND ALSO ELECTRONICALLY.

The Public may attend the meeting electronically and comment when appropriate by:

- **Join Zoom Meeting at**: https://us02web.zoom.us/j/89367747727 *or*
- **Connect via Telephone:** Dial 1(669) 900-6833 and enter **Meeting ID:** 893 6774 7727

The public may attend this meeting in-person at West Point City Hall under the following Guidelines:

- *Use of face coverings is required for all those not fully vaccinated*
- *Sneeze/cough into cloth, tissue, elbow or sleeve. Wash hands often and for at least 20 seconds*
- *Avoid entering if they have a fever of 100.4° or above, cough, trouble breathing, sore throat, or feel generally unwell*

The public may also participate in the Citizen Comment and Public Hearing Items prior to the meeting via email:

Comments must be received prior to the 7PM City Council Meeting

- **Email**: carnold@westpointcity.org
- **Subject Line:** Must be designated as "Citizen Comment – April 19, 2022 City Council Meeting"
- **Email Body**: **Must** include First & Last Name and Address and a succinct statement of your comment.

ADMINISTRATIVE SESSION

5:30 PM – OPEN TO THE PUBLIC

1. **Discussion Regarding the Site Plan for Deseret First Credit Union –** *Mrs. Bryn MacDonald* pg. 4
2. **Discussion Regarding Bluff View Subdivision Phase 4 –** *Mrs. Bryn MacDonald* pg. 12
3. **Discussion Regarding a Plat Amendment for 3 Lots Located at 3910 W 1300 N** (Applicant – Rob Wilcox) **–** *Mrs. Bryn MacDonald* pg. 27
4. **Discussion Regarding the Landscape Betterment Agreement for the 2000 W Road Widening Project –** *Mr. Boyd Davis* pg. 31
5. **Discussion Regarding Drought Conditions and Landscaping Requirements –** *Mr. Boyd Davis* pg. 36
6. **Discussion of a Text Amendment to Section 17.130.100C Regarding Sanitary Sewer Pipeline –** *Mr. Boyd Davis* pg. 38
7. **Discussion of a Text Amendment to Section 17.60.140C Regarding Commercial Design Standards –** *Mrs. Bryn MacDonald* pg. 40
8. **Discussion of a Text Amendment to Section 17.130.090E(7) Regarding the Number of Lots Per Subdivision Access –** *Mrs. Bryn MacDonald* pg. 42
9. **Discussion Regarding the "Compton Annexation" Petition –** *Mr. Kyle Laws* pg. 43
10. **Other Items**

GENERAL SESSION

7:00 PM – OPEN TO THE PUBLIC

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Prayer** (Please contact the City Recorder to request meeting participation by offering a prayer or inspirational thought)
4. **Communications and Disclosures from City Council and Mayor**
5. **Communications from Staff**
6. **Citizen Comment** *(Emailed comments received prior to the meeting using the instructions above will be read to the Council at this time)*
   - Please clearly state your name and address prior to commenting and keep comments to a maximum of 2 ½ minutes
   - Do not repeat positions already stated; public comment is a time for the Council to receive new information and perspectives
   - If attending the meeting in-person, please approach the podium
   - If attending the meeting electronically, use the "raise hand" icon if on a computer or dial *9 on the phone to indicate that you would like to make a comment; when it is your turn, the meeting host will unmute you.
7. **Recognition of Jen Brown and Dashaun Wise as "Jr. Jazz Officials of the Year" Award –** *Mayor Brian Vincent*
8. **Consideration of Approval of the Minutes from the November 16th, 2021 West Point City Council Meeting** pg. 68
9. **Consideration of Approval of Resolution No. 04-19-2022A, Approving a Letter of Concurrence and Match Agreement between West Point City and the Wasatch Front Regional Council for the General Plan Project –** *Mrs. Bryn MacDonald* pg. 64
10. **Consideration to Deny or Accept for Further Consideration the "Compton Annexation" Petition –** *Mr. Kyle Laws* pg. 43
11. **Motion to Adjourn the General Session**

Posted this 15th day of April, 2022
Amended this 18th day of April, 2022

Casey Arnold

CASEY ARNOLD, CITY RECORDER

TENTATIVE UPCOMING ITEMS

Date: 05/03/2022

Administrative Session – 6:00 pm

1. Code Enforcement Update
2. Discussion Regarding the FY2022 Amended Budget and FY2023 Tentative Budget for West Point City and All Related Agencies – Mr. Ryan Harvey
3. Discussion Regarding Request to develop Phase 5 of Wildfire Estates Simultaneously with Phases 3 and Phase 4 – Mrs. Bryn MacDonald
4. Discussion Regarding Request to Develop Phase 8 of the Harvest Fields Subdivision Simultaneously with Other Phases – Mrs. Bryn MacDonald
5. Discussion Regarding the North Davis County Active Transportation Plan – Mrs. Bryn MacDonald

General Session – 7:00 pm

1. Presentation by Representative Karen Peterson
2. Youth Council Update
3. Consideration of Approval of the Final Plat for the Deseret First Credit Union – Mrs. Bryn MacDonald
4. Consideration of Approval of Phase 4 of the Bluff View Subdivision – Mrs. Bryn MacDonald
5. Consideration of Approval of the Final Site Plan for The Movement Dance Center Located at 3567 W 1800 N – Mrs. Bryn MacDonald
6. Consideration of Approval to Place Phase 2 and Phase 3 of the Sunview Estates Subdivision on One-Year Warranty – Mr. Boyd Davis
7. Consideration of Approval to Place Phase 1 of the Bluff View Subdivision on One-Year Warranty – Mr. Boyd Davis
8. Consideration of Approval of Resolution No. 05-03-2022A, Approving the Landscape Betterment Agreement for the 2000 W Road Widening Project – Mr. Boyd Davis
9. Consideration of Approval of Final Plat Amendment for the Antelope Ridge Subdivision Located at Approximately 3910 W 1300 N – Mrs. Bryn MacDonald
    a. Public Hearing
    b. Action
10. Consideration of Approval of Ordinance No. 05-03-2022A, Amending Section 17.130.100C of the West Point City Code Regarding Sanitary Sewer Pipelines – Mrs. Bryn MacDonald
    a. Public Hearing
    b. Action
11. Consideration of Approval of Ordinance No. 05-03-2022B, Amending Section 17.60.140C of the West Point City Code Regarding Commercial Design Standards – Mrs. Bryn MacDonald
    a. Public Hearing
    b. Action
12. Consideration of Approval of Ordinance No. 05-03-2022C, Amending Section 17.130.090E(7) of the West Point City Code Regarding the Construction of a Second Access in a Subdivision – Mrs. Bryn MacDonald
    a. Public Hearing
    b. Action

Date: 05/17/2022

Administrative Session – 6:00 pm

1. Discussion Regarding the FY2022 Amended Budget and FY2023 Tentative Budget for West Point City and All Related Agencies – Mr. Ryan Harvey

General Session – 7:00 pm

1. Test
2. Consideration of an Approval to Develop Phase 5 of the Wild Fire Estates Subdivision Simultaneously with Phases 3 and 4 – Mrs. Bryn MacDonald
3. Consideration of Approval of Resolution No. 05-03-2022A, Adopting the North Davis County Active Transportation Plan – Mrs. Bryn MacDonald
4. Consideration of Approval of an Exception to Construct Phase 8 of the Harvest Fields Subdivision Simultaneously with Other Phases – Mrs. Bryn MacDonald
5. Consideration of Approval of Resolution No. 05-17-2022A, Approving the FY2022 Amended Budget for West Point City and All Related Agencies
    a. Public Hearing
    b. Action

Date: 06/07/2022

Administrative Session – 6:00 pm

1. Quarterly Financial Update
2. Discussion Regarding the FY2023 Tentative Budget for West Point City and All Related Agencies – Mr. Ryan Harvey

General Session – 7:00 pm

1. Youth Council Update
2. Consideration of Approval of Resolution No. 06-07-2022A, Approving the FY2023 Tentative Budget – Mr. Ryan Harvey
    a. Public Hearing
    b. Action

CDRA – 7:00 pm

1. Consideration of Approval of Resolution No. R06-07-2022A, Approving the FY2023 Tentative Budget for the CDRA of West Point City – Mr. Ryan Harvey
    a. Public Hearing
    Action

WEST POINT CITY

2022 CALENDAR

2022

JANUARY

SUN	MON	TUE	WED	THU	FRI	SAT
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
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FEBRUARY

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27	28					

MARCH

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APRIL

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MAY

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JUNE

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JULY

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31						

AUGUST

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SEPTEMBER

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OCTOBER

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30	31					

NOVEMBER

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27	28	29	30			

DECEMBER

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11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

*UPDATED AS OF APRIL 2022

IMPORTANT DATES

JANUARY

3	Swearing-In Ceremony - 12 PM
4	City Council - 6 PM
10	Senior Lunch - 11:30 AM
11	Council/Staff Lunch - 11:30 AM
13	Planning Commission - 6 PM
17	MLK Jr. Day - CLOSED
18	City Council - 6 PM
27	Planning Commission - 6 PM

FEBRUARY

1	City Council - 6 PM
4-5	City Council Planning & Visioning Session
10	Planning Commission - 6 PM
14	Senior Lunch - 11:30 AM
15	City Council - 6 PM
21	President's Day - CLOSED
24	Planning Commission - 6 PM

MARCH

1	City Council - 6 PM
10	Planning Commission - 6 PM
15	City Council - 6 PM
21	Senior Lunch - 11:30 AM
24	Planning Commission - 6 PM

APRIL

5	City Council - 6 PM
11	Senior Lunch - 11:30 AM
14	Planning Commission - 6 PM
16	EASTER EGG HUNT - 10 AM
19	City Council - 6 PM
22-23	ANNUAL SPRING CLEAN-UP
28	Planning Commission - 6 PM

MAY

3	City Council - 6 PM
5	CEMETERY CLEANING
9	Senior Lunch - 11:30 AM
10	Council/Staff Lunch - 11:30 AM
12	Planning Commission - 6 PM
14	TAKE PRIDE IN WEST POINT
17	City Council - 6 PM
26	Planning Commission - 6 PM
30	Memorial Day - CLOSED

JUNE

4	MISS WEST POINT PAGEANT
7	City Council - 6 PM
9	Planning Commission - 6 PM
13	Senior Lunch - 11:30 AM
17	MOVIE IN THE PARK - DUSK
21	City Council - 6 PM
23	Planning Commission - 6 PM

JULY

2 & 4	PARTY AT THE POINT EVENTS
5	Independence Day Holiday - CLOSE
11	Senior Lunch - 11:30 AM
14	Planning Commission - 6 PM
15	MOVIE IN THE PARK - DUSK
19	City Council - 6 PM
25	Pioneer Day Holiday - CLOSED
28	Planning Commission - 6 PM

AUGUST

TBD	Summer Party 5:30 - 7 PM
2	City Council - 6 PM
11	Planning Commission - 6 PM
12	MOVIE IN THE PARK - DUSK
16	City Council - 6 PM
19	Senior Dinner - 5:30 PM
25	Planning Commission - 6 PM

SEPTEMBER

5	Labor Day - CLOSED
6	City Council - 6 PM
8	Planning Commission - 6 PM
12	Senior Lunch - 11:30 AM
20	City Council - 6 PM
22	Planning Commission - 6 PM

OCTOBER

TBD	ANNUAL FALL CLEAN-UP
4	City Council - 6 PM
6	CEMETERY CLEANING
10	Employee Training - CLOSED
13	Planning Commission - 6 PM
14	HALLOWEEN CARNIVAL - 7 PM
17	Senior Lunch - 11:30 AM
18	City Council - 6 PM
25	Council/Staff Lunch - 11:30 AM
27	Planning Commission - 6 PM

NOVEMBER

1	City Council - 6 PM
5	FLAGS ON VETERANS' GRAVES
8	ELECTION DAY
10	Planning Commission - 6 PM
11	Veterans Day - CLOSED
14	Senior Lunch - 11:30 AM
15	City Council - 6 PM
24-25	Thanksgiving - CLOSED
28	CITY HALL LIGHTING - 6 PM

DECEMBER

2	Christmas Party - 7 PM
6	CHILD REMEMBRANCE - 7 PM
6	City Council - 6 PM
8	Planning Commission - 6 PM
12	Senior Lunch - 11:30 AM
20	City Council - 6 PM
22	Planning Commission - 6 PM
23	CEMETERY LUMINARY - 4 PM
26-27	Christmas Holiday - CLOSED

CITY COUNCIL STAFF REPORT

Subject: Site Plan – Deseret First Credit Union
Author: Bryn MacDonald, Community Development Director
Department: Community Development
Date: April 19, 2022

Background

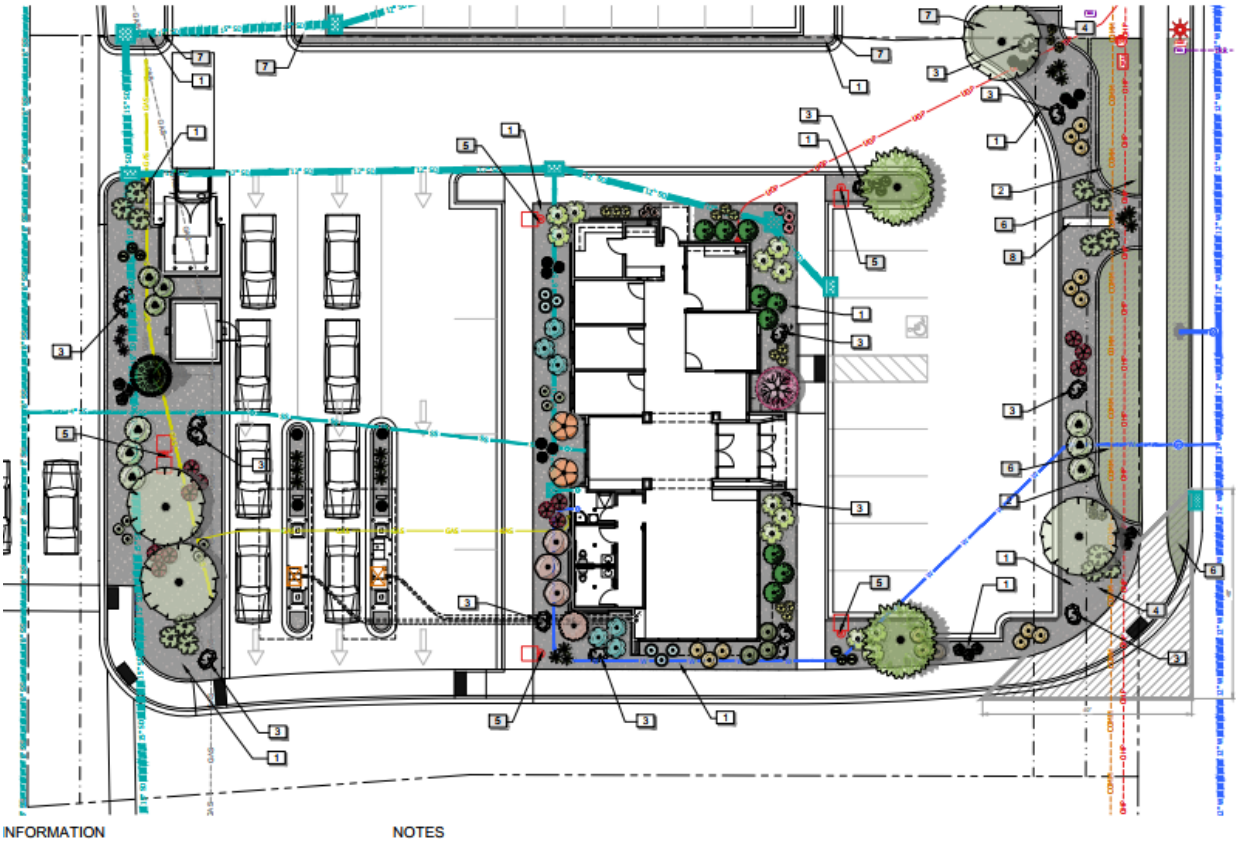
The applicant, Spencer Park, (representing Deseret First Credit Union) is seeking site plan approval to construct a credit union on property located at 267 North 2000 West, within The Point development. The lot that is located just south of Culver's, along 2000 West and is recorded as Lot 10 of The Point Subdivision.

Analysis

The proposed site plan sits on .69 acres of land that is currently zoned C-C (Community Commercial). It will consist of a 2,714 sqft building, a drive-thru with canopies, parking located in front and rear of the building, a small accessory building, and a dumpster enclosure. A revised site plan showing the removal of access next to 2000 West has been submitted. The following are a few of the standards and requirements that were reviewed:

Zoning:	"Financial Institutions" are required to obtain a conditional use from the Planning Commission. The PC approved the conditional use on April 14, 2022. The setbacks meet the standard.
Parking:	The proposed parking calculation is 11 total parking stalls with 1 being reserved for ADA compliance. With a total area of 2,714 square feet of building space 6 parking stalls are required for this use (see WPCC 17.100.040). One additional parking stall is required for each employee per shift. The applicant has confirmed that no more than 5 employees will be working at once in the building.
Landscaping:	The site is required to have 15% landscaping. Landscaping requirements have all been satisfied as found in WPCC 17.60.140(C)(4-5).
Architecture:	West Point City Code has architectural standards that apply to newly constructed commercial buildings. These requirements are outlined in WPCC 17.60.140. Additionally, West Point City and The Point Development entered into a Developers Agreement that uses the same language that was in the previous version of the code that addressed masonry standards in commercial developments. The building complies with these requirements.
Lighting:	All lighting meets the ordinance as outlined in WPCC 17.120.
Access:	This site plan is proposing 4 access points. WPCC does not have any specific regulations on spacing distance or locations for those access points.

Images from the Bountiful Branch. The look and finish will be identical to this building.



Proposed Landscape Plan.

Recommendation

The Planning Commission recommended approval of the site plan for the Deseret First Credit Union.

Significant Impacts

There are no significant impacts related to the proposed amendments.

Attachments

Application & Documents

CURTIS MINER
ARCHITECTURE

DESERET FIRST CREDIT UNION - WEST POINT BRANCH

267 NORTH 2000 WEST
WEST POINT, UTAH 84015
MAR. 02, 2022

△ MARK	REVISION	DATE

INDEX OF DRAWINGS

CIVIL

C100 COVER & INDEX
C101 NOTES & LEGEND
C200 TOPOGRAPHIC PLAN
C300 DEMOLITION PLAN
C400 SITE PLAN
C500 GRADING PLAN
C600 UTILITY PLAN
C900 SITE DETAILS
C910 UTILITY DETAILS
EC100 EROSION CONTROL PLAN

LANDSCAPE

L101 LANDSCAPE PLAN
L501 LANDSCAPE DETAILS
LI101 IRRIGATION PLAN
LI501 IRRIGATION DETAILS

ARCHITECTURAL

AS101 ARCHITECTURAL SITE PLAN
AS501 ARCHITECTURAL SITE DETAILS
AS502 ARCHITECTURAL SITE DETAILS
AS503 ARCHITECTURAL SITE DETAILS
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
A203 PRESENTATION PERSPECTIVES
A204 PRESENTATION PERSPECTIVES

ELECTRICAL

ES101 ELECTRICAL SITE PLAN
ES102 PHOTOMETRIC SITE PLAN
ES501 SITE ELECTRICAL DETAILS
ES601 EXTERIOR LIGHTING FIXTURE SCHEDULE
ES602 EXTERIOR LIGHTING CUT SHEETS
ES603 EXTERIOR LIGHTING CUT SHEETS

BIM 360://21-093 DFCU West Point/21-093 - DFCU West Point.rvt
4/5/2022 11:29:35 AM

CURTIS MINER ARCHITECTURE
233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
cma@cmautah.com

DATE:	MAR. 02, 2022
PROJECT #:	21-093
PROJ. MAN.:	JSJ
CHECKED BY:	CNM

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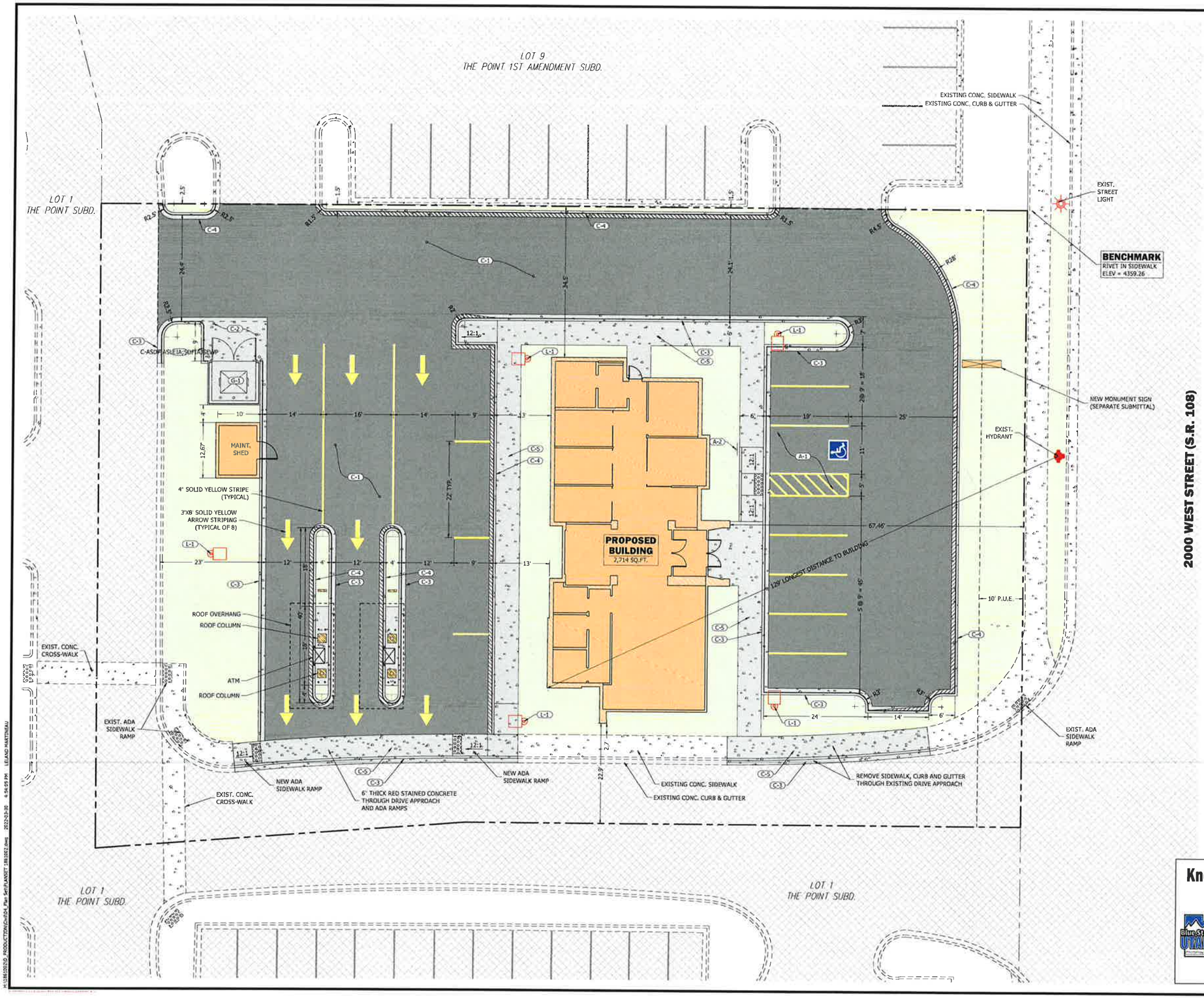
PROJECT:
DESERET FIRST CREDIT UNION - WEST POINT BRANCH
267 NORTH 2000 WEST
WEST POINT, UTAH 84015

SHEET DESCRIPTION: COVER SHEET

SHEET: CVR



SCALE: 1" = 10'

PARKING CALCULATIONS	
2 PER 1,000 SQ.FT.	6
1 PER EMPLOYEE PER SHIFT	5
REQUIRED PARKING	11
PARKING PROVIDED	12
ADA PARKING PROVIDED	1
REQUIRED ADA PARKING	1

AREA TABULATION	sq.ft.	Acres	%
BUILDING	2,749	0.06	9.12%
IMPROVEMENTS	21,711	0.50	72.02%
LANDSCAPE	5,685	0.13	18.86%
TOTAL	30,145	0.69	100.00%

SYMBOL LEGEND

- (A-1) ADA PARKING AREA & SIDEWALK RAMP PER DETAIL, SHEET C900
- (A-2) ADA RESERVED PARKING SIGN - VAN ACCESSIBLE TYPE PER DETAIL, SHEET C900
- (C-1) PRIVATE ASPHALT SECTION PER DETAIL, SHEET C900
- (C-2) CONCRETE PAVING SLAB SECTION PER DETAIL, SHEET C900
- (C-3) PRIVATE 18" CONCRETE CATCH CURB & GUTTER PER DETAIL, SHEET C900
- (C-4) PRIVATE 18" CONCRETE RELEASE CURB & GUTTER PER DETAIL, SHEET C900
- (C-5) PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
- (G-1) PRIVATE DUMPSTER ENCLOSURE SEE ARCHITECT PLANS
- (L-1) 16' LIGHT POLE SINGLE SEE ELECTRICAL PLANS

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
MINIMUM SIZE OF 60"X60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

Know what's **below.**
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

1470 South 600 West
Woods Cross, UT 84010
Phone 801 298 2236
www.Entellus.com
Entellus

LICENSED PROFESSIONAL ENGINEER
No 375183
Leland K. Martineau
3-30-22
STATE OF UTAH

DEVELOPER
DESERET FIRST
CREDIT UNION
P.O. BOX 45046
SALT LAKE CITY, UT 84145
CONTACT - V.P. SPENCER PARK
801-456-7161
spencer.park@dfcu.com

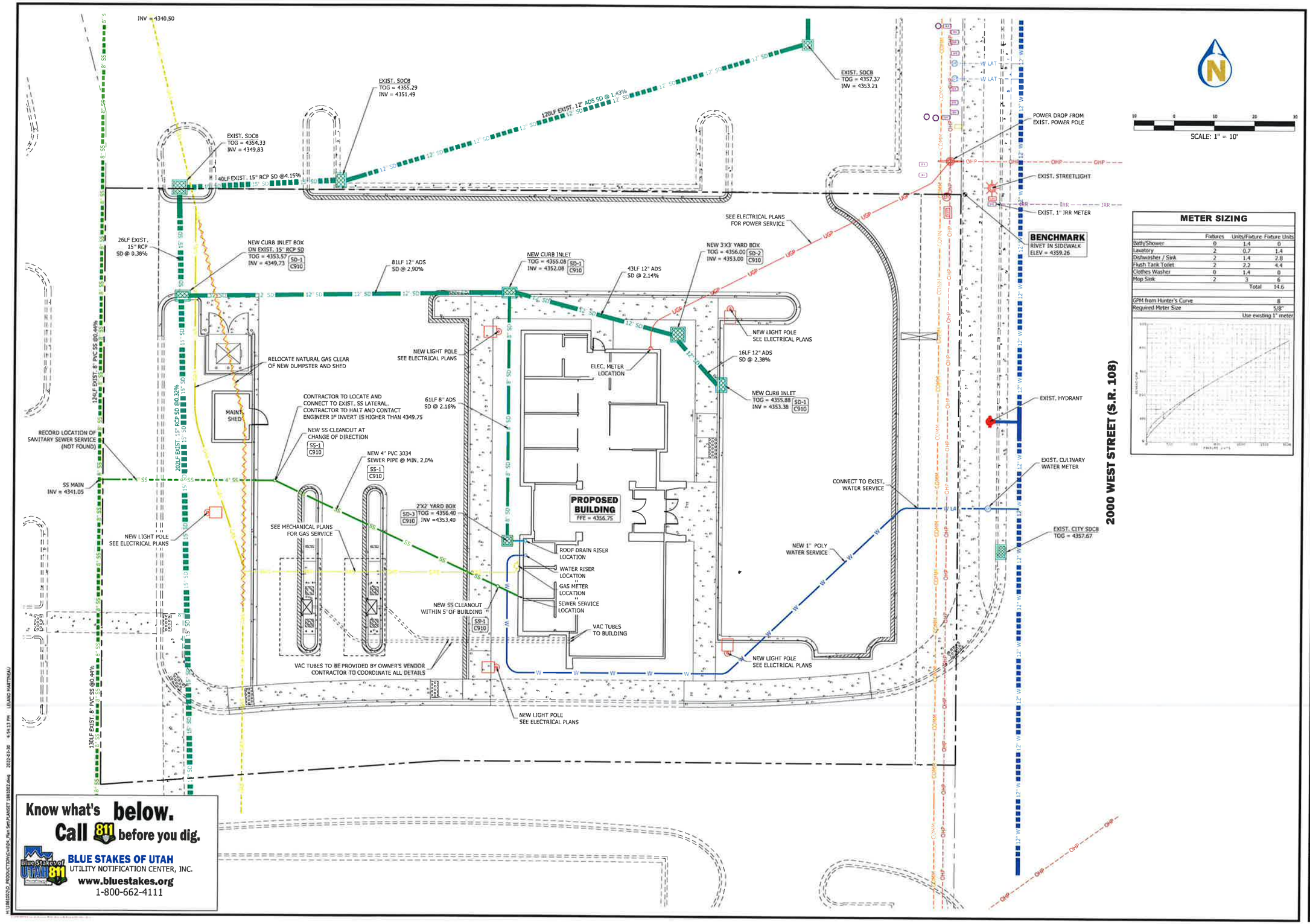
DESERET FIRST CREDIT UNION - WEST POINT

267 N 2000 WEST STREET
LOT 10 OF THE POINT 1ST AMENDMENT SUBDIVISION
LOCATED IN THE NE 1/4 OF SECTION 4, T.4N., R.2W., S.L.B.&M.
WEST POINT CITY, DAVIS COUNTY, UTAH

REVISIONS

DRAWN:	LKM
APPROVED:	LKM
PROJECT #:	1861002
DATE:	3/30/2022

C400
SITE PLAN



METER SIZING

	Fixtures	Units/Fixture	Fixture Units
Bath/Shower	0	1.4	0
Lavatory	2	0.7	1.4
Dishwasher / Sink	2	1.4	2.8
Flush Tank Toilet	2	2.2	4.4
Clothes Washer	0	1.4	0
Mop Sink	2	3	6
		Total	14.6
GPM from Hunter's Curve			8
Required Meter Size			5/8"
			Use existing 1" meter

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com
Entellus

LICENSED PROFESSIONAL ENGINEER
No. 375157
Leland K. Martineau
3-30-22
STATE OF UTAH

DEVELOPER
DESERET FIRST
CREDIT UNION
P.O. BOX 45046
SALT LAKE CITY, UT 84145
CONTACT - V.P. SPENCER PARK
801-567-161
spencer.park@dfcu.com

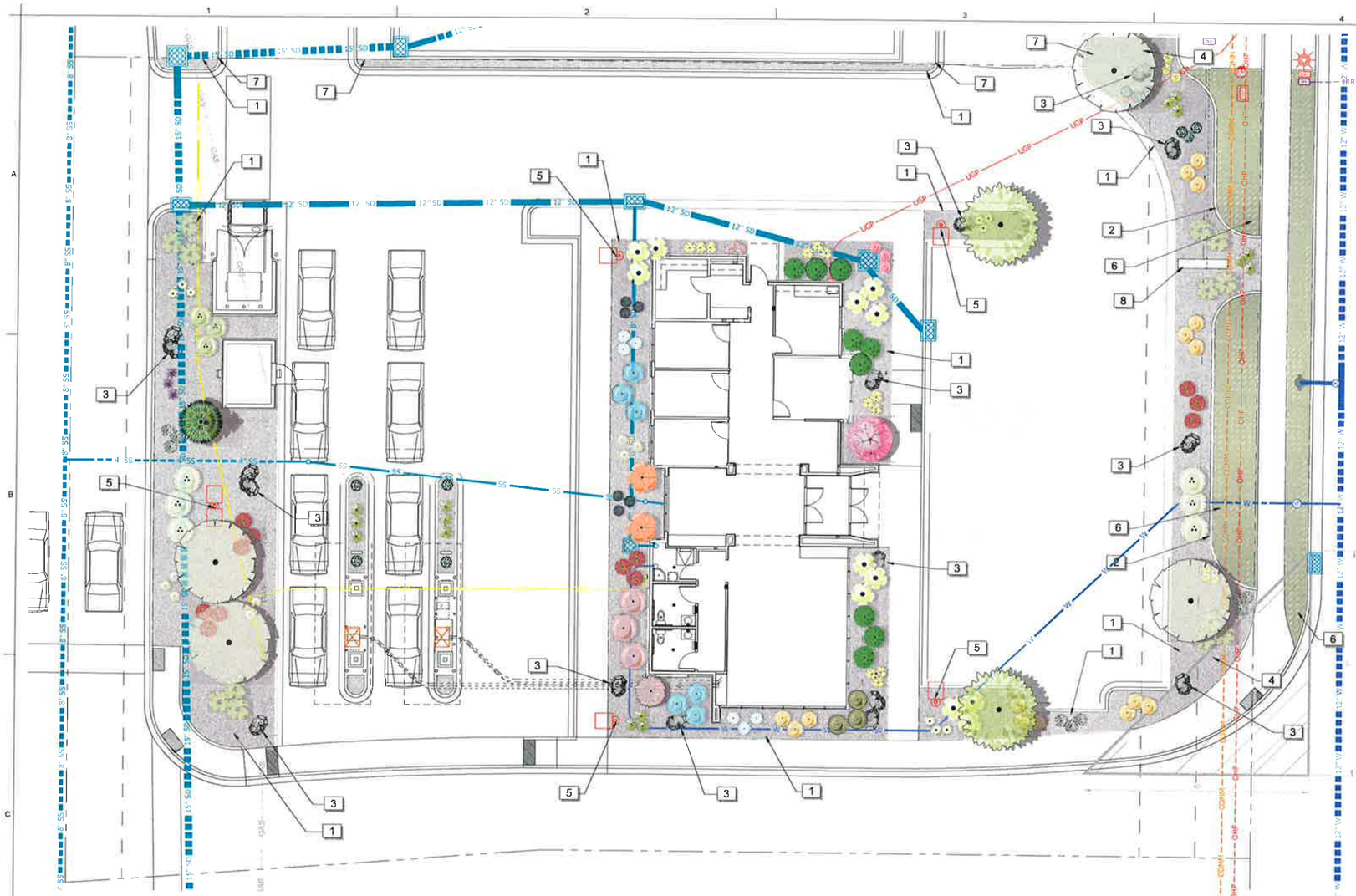
DESERET FIRST CREDIT UNION - WEST POINT

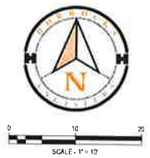
267 N 2000 WEST STREET
LOT 10 OF THE POINT 1ST AMENDMENT SUBDIVISION
LOCATED IN THE NE 1/4 OF SECTION 4, T.4N., R.2W., S.L.B.&M.,
WEST POINT CITY, DAVIS COUNTY, UTAH

REVISIONS

DRAWN:	LKM
APPROVED:	LKM
PROJECT #:	1861002
DATE:	3/30/2022

C600
UTILITY PLAN





HORROCKS ENGINEERS
2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100
www.horrocks.com

WARNING
0 1 2
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS

REV #	DATE

*SEE GENERAL NOTES SHEET

DRAWING INFO

DATE	3-30-2022
DESIGNED	ZS
DRAWN	ZS
CHECKED	ZS
PROJECT	UT-4910-22

PRELIMINARY NOT FOR CONSTRUCTION

WEST POINT DESERET FIRST CREDIT UNION

267 NORTH 2000 WEST
WEST POINT, UTAH

LANDSCAPE PLAN

LANDSCAPE PLAN

PLANT SCHEDULE SITE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CERCIS CANADENSIS 'LAVENDER TWIST' LAVENDER TWIST REDBUD	2" CAL	B&B	1
	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' COLUMNAR SWEET GUM	2" CAL	B&B	1
	PINUS NIGRA 'ARNOLD BENTINEL' ARNOLD SENTINEL AUSTRIAN BLACK PINE	6-7' HT.	B&B	1
	PYRUS CALLERYANA 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	2" CAL	B&B	4
	TILIA CORDATA 'CORZAM' CORINTHIAN LITTLELEAF LINDEN	2" CAL	B&B	2

SHRUBS	BOTANICAL / COMMON NAME	SIZE	
	BERBERIS THUNBERGII 'SUNJOY TANGELO' SUNJOY BARBERRY	2 GAL	15
	BUXUS MICROPHYLLA 'WINTERGREEN' WINTERGREEN BOXWOOD	2 GAL	3
	CORNUS ALBA 'IVORY HALO' TM TATARIAN DOGWOOD	2 GAL	5
	EUONYMUS FORTUNEI 'EMERALD GAIETY' EMERALD GAIETY EUONYMUS	2 GAL	12
	JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	2 GAL	6
	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD' YELLOW NINEBARK	2 GAL	2
	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE' SUMMER WINE NINEBARK	2 GAL	3
	RHAMNUS FRANGULA 'FINE LINE' FINE LINE BUCKTHORN	2 GAL	3
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	2 GAL	13
	ROSA X 'RADRAZZ' KNOCK OUT SHRUB ROSE	2 GAL	12
	TAXUS X MEDIA 'DARK GREEN SPREADER' DARK GREEN SPREADER ANGLOJAP YEW	2 GAL	9
	YUCCA FILAMENTOSA 'STARBURST' YELLOW ASAW'S NEEDLE	1 GAL	15

ANNUAL/PERENNIALS	BOTANICAL / COMMON NAME	SIZE	
	EUPHORBIA POLYCHROMA 'BONFIRE' MULTICOLOR CUSHION SPURGE	1 GAL	3
	HEUCHERA X 'OBSIDIAN' CORAL BELLS	1 GAL	9
	LEUCANTHEMUM X SUPERBUM 'SNOWCAP' SNOWCAP SHASTA DAISY	1 GAL	9
	SALVIA NEMOROSA 'CARADONNA' CARDONNA PERENNIAL SALVIA	1 GAL	10
	SEDUM SPECTABILE 'PURPLE EMPEROR' SHOWY STONECROP	1 GAL	3
	SEDUM SPECTABILE 'PURPLE EMPEROR' SHOWY STONECROP	1 GAL	5

GRASSES	BOTANICAL / COMMON NAME	SIZE	
	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' FEATHER REED GRASS	1 GAL	9
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	1 GAL	8
	HAKONECHLOA MACRA 'ALL GOLD' ALL GOLD JAPANESE FOREST GRASS	1 GAL	12
	HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' BLUE OAT GRASS	1 GAL	6
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' LITTLE BUNNY FOUNTAIN GRASS	1 GAL	6

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	5" DEPTH OF 2-4" DECORATIVE LANDSCAPE COBBLE. MATCH COLOR TO ADJACENT PROPERTIES.	5,112 SF	5/L501
2	6" X 6" CONCRETE MOWCURB		4/L501

SYMBOL	DESCRIPTION	QTY	DETAIL
3	2-4" BOULDER	16	8/L501
4	PRESERVE EXISTING SHRUBS IF APPLICABLE. ENSURE NEW IRRIGATION PROVIDES ADEQUATE COVERAGE		
5	LIGHT POLE - SEE ELECTRICAL PLAN		

SYMBOL	DESCRIPTION	QTY	DETAIL
6	EXISTING TURF GRASS TO REMAIN	1,085 SF	
7	BLEND EXISTING LANDSCAPE INTO NEW IMPROVEMENTS		
8	MONUMENT SIGN - SEE ARCHITECTURAL PLANS		

INFORMATION

TOTAL SITE AREA:	0.69 ACRES / 30,146 SF
REQUIRED LANDSCAPE AREA:	15% / 4,521 SF
PROVIDED LANDSCAPE AREA:	16% / 4,912 SF
STREET TREE REQUIREMENT:	2 TREES PER 50' OF PARK STRIP
STREET TREES PROVIDED:	PARK STRIP IS OUTSIDE OF PROPERTY LINE AND IN UDOT ROW. SOME FRONTAGE TREES AND ADDITIONAL SITE TREES PROVIDED INSTEAD. 2 TREES PROVIDED FOR ~125 LF OF FRONTAGE.
SITE TREE REQUIREMENT:	2" CALIPER TREES IN PARKING LOT ISLANDS, 30% EVERGREENS FOR SITE TREES
SITE TREES PROVIDED:	17 TREES PROVIDED, ALL 2" CALIPER OR 6-7' HEIGHT, 5 (30%) ARE EVERGREEN
SHRUB REQUIREMENT:	5' SHRUB BEDS REQUIRED AROUND BUILDING.
SHRUBS PROVIDED:	MIN. 5' BEDS PROVIDED WITH ~70% VEGETATIVE COVERAGE

NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
3. TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS:
   - 3.1. 6" DEPTH IN ALL PLANTER BED AREAS
   - 3.2. 4" DEPTH IN ALL TURF SOD AREAS
   - 3.3. 4" DEPTH IN ALL NEW SEED AREAS.
   - 3.4. 2" DEPTH IN ALL RESTORATION AREAS THAT WERE PREVIOUSLY VEGETATED.
4. EDGING SHALL BE IMPLEMENTED BETWEEN ALL VARYING LANDSCAPE MATERIALS SUCH AS TURF GRASS AND BARK MULCH, BARK MULCH AND ROCK MULCH, TURF GRASS AND BROADCAST SEED, ETC. EXACT TYPE OF EDGING SHALL BE INDICATED ON THE PLANS. IF NO EDGING IS INDICATED ON THE PLANS A 6" X 6" SLIP FORMED, SQUARE CONCRETE CURB SHALL BE USED.
5. ROCK MULCH COLOR AND TYPE TO BE APPROVED BY OWNER. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. MULCH MATERIAL SHALL BE IMPLEMENTED IN ALL PLANTER BED AREAS INDICATED ON THE PLANS AT THE FOLLOWING DEPTHS:
   - 5.1. 1-2" DIAMETER FRACTURED STONE : 4"
   - 5.2. 2-4" DIAMETER FRACTURED STONE: 6"
   - 5.3. 1-2" COBBLE MULCH: 4"
   - 5.4. 2-4" COBBLE MULCH: 6"
   - 5.5. PULL MULCH MIN. OF 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
6. ALL TREES IN TURF GRASS AREAS SHALL HAVE A MIN 4' DIAMETER RING TO SEPARATE THE ROOT ZONE FROM THE TURF GRASS. EDGING AROUND RING SHALL BE AS SPECIFIED PER THE PLANS. THE RING SHALL BE SHOVEL CUT TO A DEPTH OF 2" BELOW THE TURF SOD ROOT MAT.
7. INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS AND ORDINANCES.
8. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED, NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN PERMISSION OF THE OWNER OR LANDSCAPE ARCHITECT
9. BASE PLAN & LOCATION OF EXISTING EQUIPMENT ARE SCHEMATIC IN NATURE. FIELD VERIFY ALL BASE & EXISTING ELEMENTS PRIOR TO CONSTRUCTION & PROVIDE NECESSARY ADJUSTMENTS.
12. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED ON A REGULAR SCHEDULE DURING THE FIRST GROWING SEASON.
13. THE CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR ONE-YEAR AFTER DATE OF FINAL ACCEPTANCE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND AVOIDANCE OF ALL UNDERGROUND UTILITIES DURING THE INSTALLATION OF LANDSCAPE AND IRRIGATION ELEMENTS. SHOULD ANY DAMAGE OCCUR TO UNDERGROUND UTILITIES THE CONTRACTOR SHALL REPLACE OR REPAIR THE DAMAGE AT NO ADDITIONAL COST TO THE OWNER.

Q:\2022\UT-4910-22 CMA - DFCU - West Point\Project Data\Sheet_Files\Landscape\Landscape Plans.dwg - L101 - 3/30/2022 03:59pm, zach.scott

L101

PAGE 1

MARK	REVISION	DATE

BIM 360://21-093 DFCU West Point/21-093 - DFCU West Point.rvt
3/2/2022 3:57:09 PM

CURTIS MINER ARCHITECTURE
233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
cma@cmautah.com

DATE: MAR. 02, 2022
PROJECT #: 21-093
PROJ. MAN.: JSJ
CHECKED BY: CNM

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PROJECT:
DESERET FIRST CREDIT UNION - WEST POINT BRANCH
267 NORTH 2000 WEST
WEST POINT, UTAH 84015

SHEET DESCRIPTION:
PRESENTATION PERSPECTIVES

SHEET:
A203

△	MARK	REVISION	DATE

REFERENCE PROJECT: DFCU BOUNTIFUL

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3/2/2022 3:57:18 PM

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PROJECT:
DESERET FIRST CREDIT UNION - WEST POINT BRANCH
267 NORTH 2000 WEST
WEST POINT, UTAH 84015

SHEET DESCRIPTION:
PRESENTATION PERSPECTIVES

SHEET:
A204

CITY COUNCIL STAFF REPORT

Subject: Discussion of Final Plat for Bluff View Ph 4
Author: Bryn MacDonald
Department: Community Development
Meeting Date: April 19, 2022

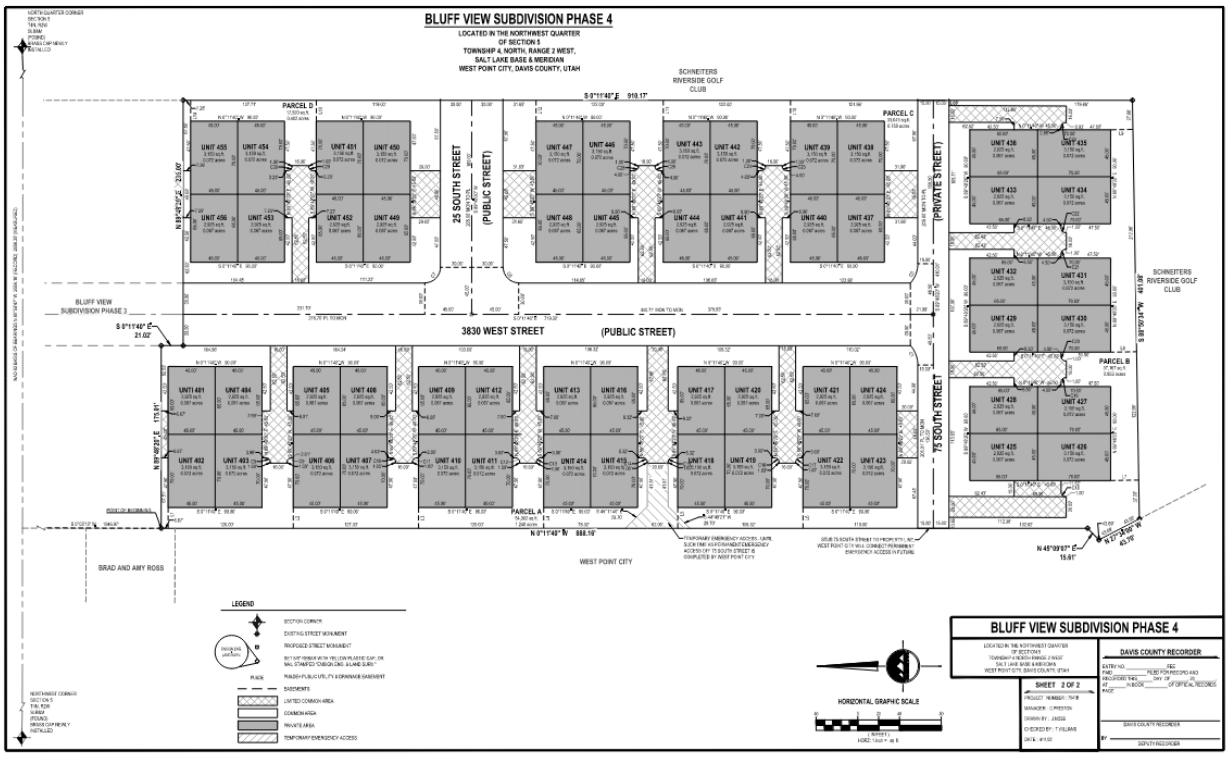
Background

The applicant, Nilson Land Development, is seeking final plat approval for Bluff View Subdivision phase 4, located at approximately 3830 W 300 N. Phase 4 (located directly south of phase 3) will consist of 14 buildings (each building having 4 attached units) for a total of 56 units.

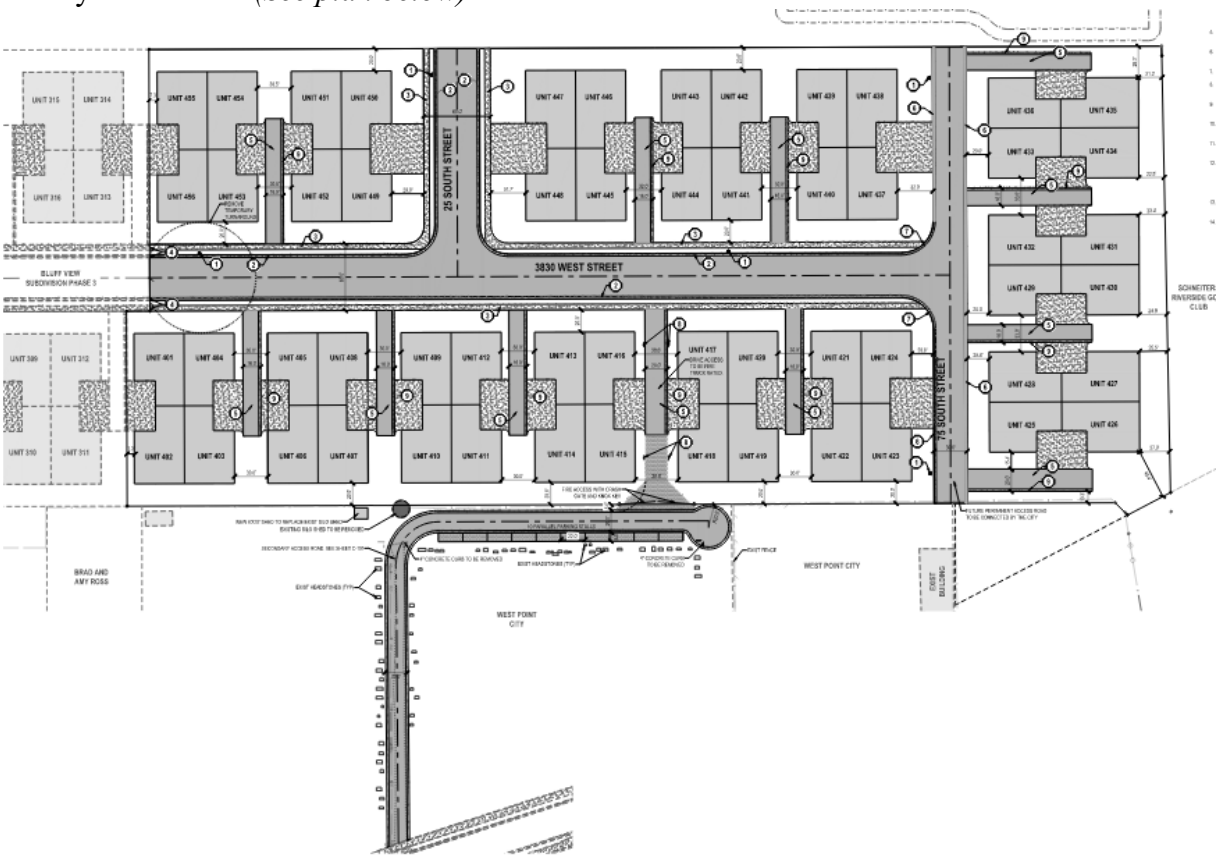
The City Council rezoned this property to R-4 (Residential- 8 units per acre). The Planning Commission granted preliminary approval for this project on August 13, 2020. The development consists of 27.5 acres of land with 202 units (7.3 units per acre) that are divided up into 6 phases. The development will be a mix of "patio" style homes (116) and traditional "townhomes" (86). The project will consist of private and public streets and will provide adequate off-street parking spaces.

Analysis

Staff is reviewing the plans and will provide comments back to the developer and project engineer. All of the items that are required before Final Plat will need to be addressed including the required approval letters.



The code states that the city shall not approve more than 30 lots without requiring the construction of a second access road. Phase 4 is 56 units and will require the construction of a second access. The applicant is proposing to construct a second access through the City cemetery to the west. *(See plan below)*



Recommendation

This item is on for discussion only. No action is requested at this time.

Attachments

A. Plans

811 Know what's below. Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER
SECTION 5
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4297.17'

BLUFF VIEW SUBDIVISION
PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

FOR REVIEW
NOT FOR CONSTRUCTION

DATE PRINTED
April 8, 2022

INDEX OF DRAWINGS

1 OF 2	BLUFF VIEW SUBDIVISION PHASE 4 PLAT
2 OF 2	BLUFF VIEW SUBDIVISION PHASE 4 PLAT
C-001	GENERAL NOTES
C-002	OVERALL DEVELOPMENT SITE PLAN
C-100	SITE PLAN
C-101	EMERGENCY ACCESS ROAD SITE PLAN
C-200	GRADING PLAN
C-201	DRAINAGE PLAN
C-202	STORM DRAIN CALCULATIONS
C-300	UTILITY PLAN
C-400	EROSION CONTROL PLAN
PP-1	3830 WEST STREET PLAN AND PROFILE
PP-2	3830 WEST STREET PLAN AND PROFILE
PP-3	75 SOUTH STREET PLAN AND PROFILE
PP-4	25 SOUTH STREET PLAN AND PROFILE
PP-5	EMERGENCY ACCESS ROAD PLAN AND PROFILE
PP-6	EMERGENCY ACCESS ROAD PLAN AND PROFILE
C-500	DETAILS
C-501	DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

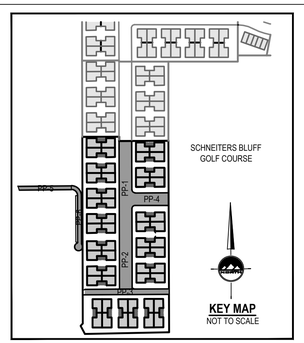
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

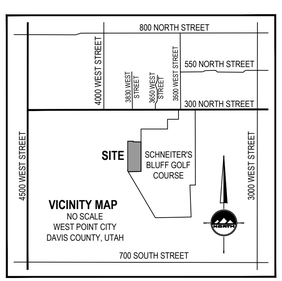
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



KEY MAP
NOT TO SCALE



VICINITY MAP
NO SCALE
WEST POINT CITY
DAVIS COUNTY, UTAH

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO WEST POINT CITY STANDARDS & SPECIFICATIONS.
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____
CITY ENGINEER

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
Nilson Land Development LLC
1493 E Ridgeline Dr Ste 52
OGDEN, UTAH 84405
CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION
PHASE 4
3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
CHAMPION NESS PRESTON
STATE OF UTAH

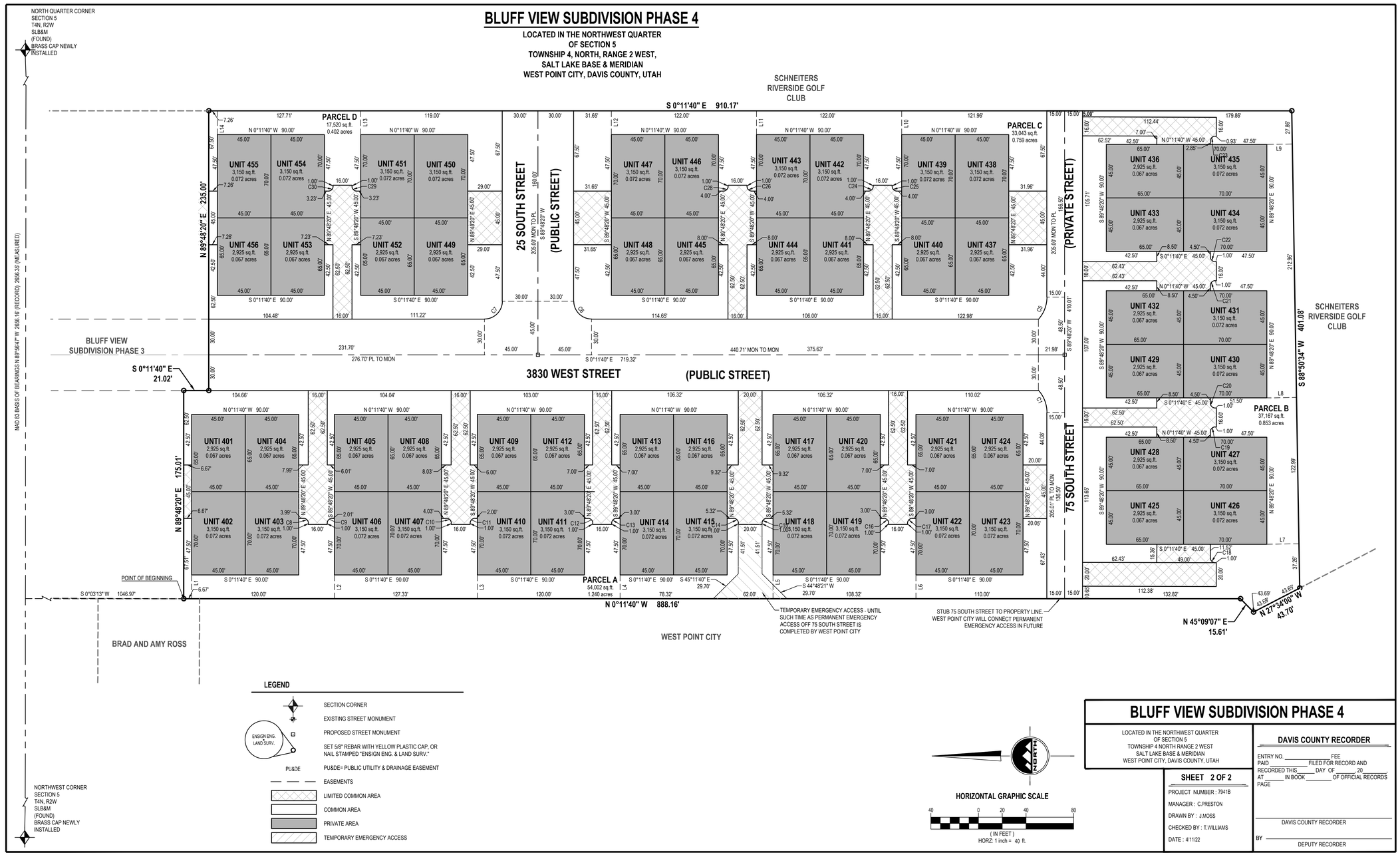
NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

COVER

PROJECT NUMBER 7941B
PRINT DATE 4/8/22
DRAWN BY J.MOSS
CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON

BLUFF VIEW SUBDIVISION PHASE 4

LOCATED IN THE NORTHWEST QUARTER
OF SECTION 5
TOWNSHIP 4, NORTH, RANGE 2 WEST,
SALT LAKE BASE & MERIDIAN
WEST POINT CITY, DAVIS COUNTY, UTAH



BLUFF VIEW SUBDIVISION PHASE 4

LOCATED IN THE NORTHWEST QUARTER
OF SECTION 5
TOWNSHIP 4 NORTH RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
WEST POINT CITY, DAVIS COUNTY, UTAH

SHEET 2 OF 2

PROJECT NUMBER : 7941B
MANAGER : C.PRESTON
DRAWN BY : J.MOSS
CHECKED BY : T.WILLIAMS
DATE : 4/11/22

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE
PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____ 20 _____,
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE

DAVIS COUNTY RECORDER

BY _____
DEPUTY RECORDER

811 Know what's below. Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER
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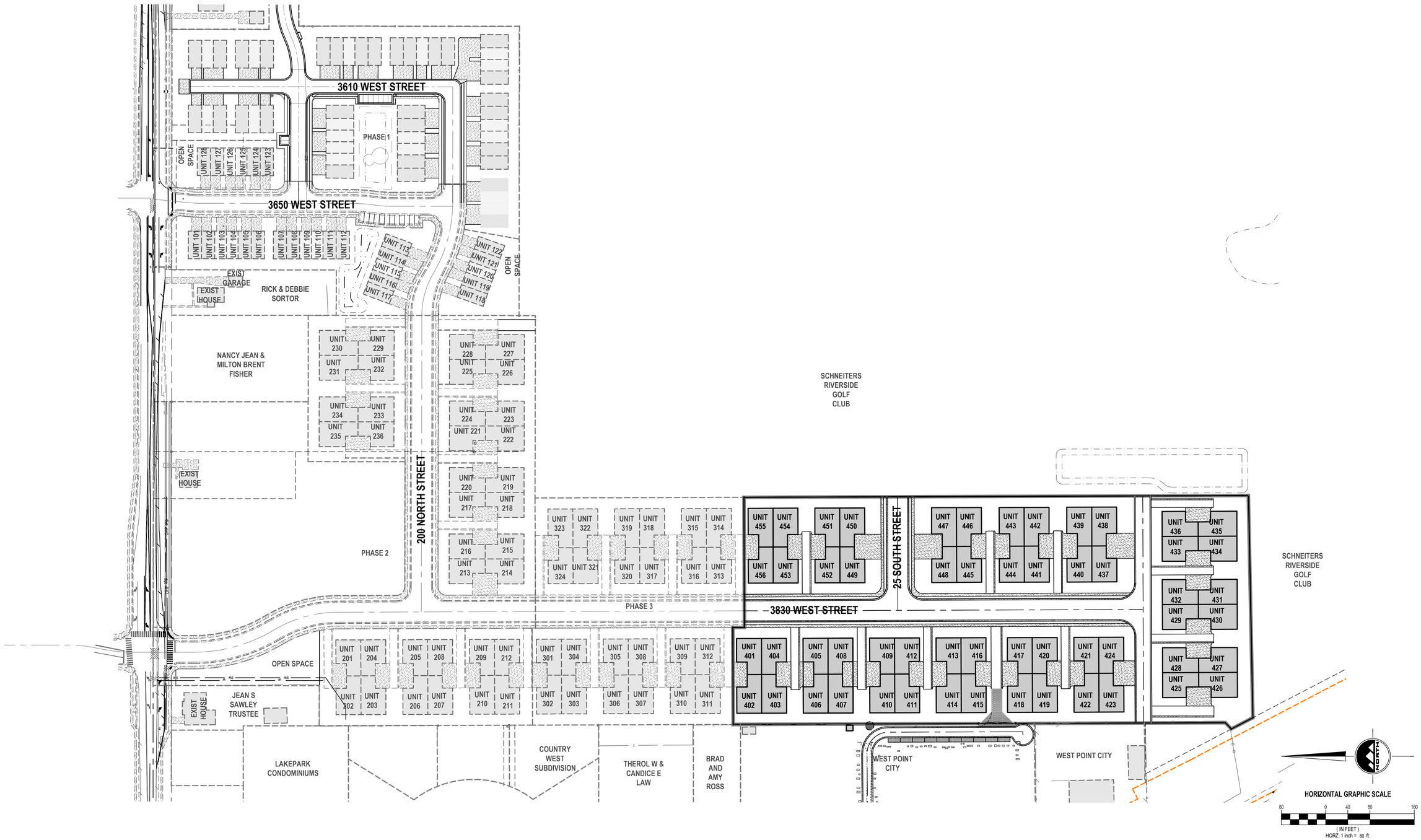
ELEV = 4297.17'



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
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SALT LAKE CITY
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WWW.ENSIGNENG.COM

FOR:
Nilson Land Development LLC
1493 E Ridgeline Dr Ste 52
OGDEN, UTAH 84405
CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

OVERALL DEVELOPMENT SITE PLAN

PROJECT NUMBER: 7941B
PRINT DATE: 4/8/22
DRAWN BY: J.MOSS
CHECKED BY: C. PRESTON
PROJECT MANAGER: C. PRESTON

C-002

811 Know what's below. Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER
SECTION 5
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4297.17'

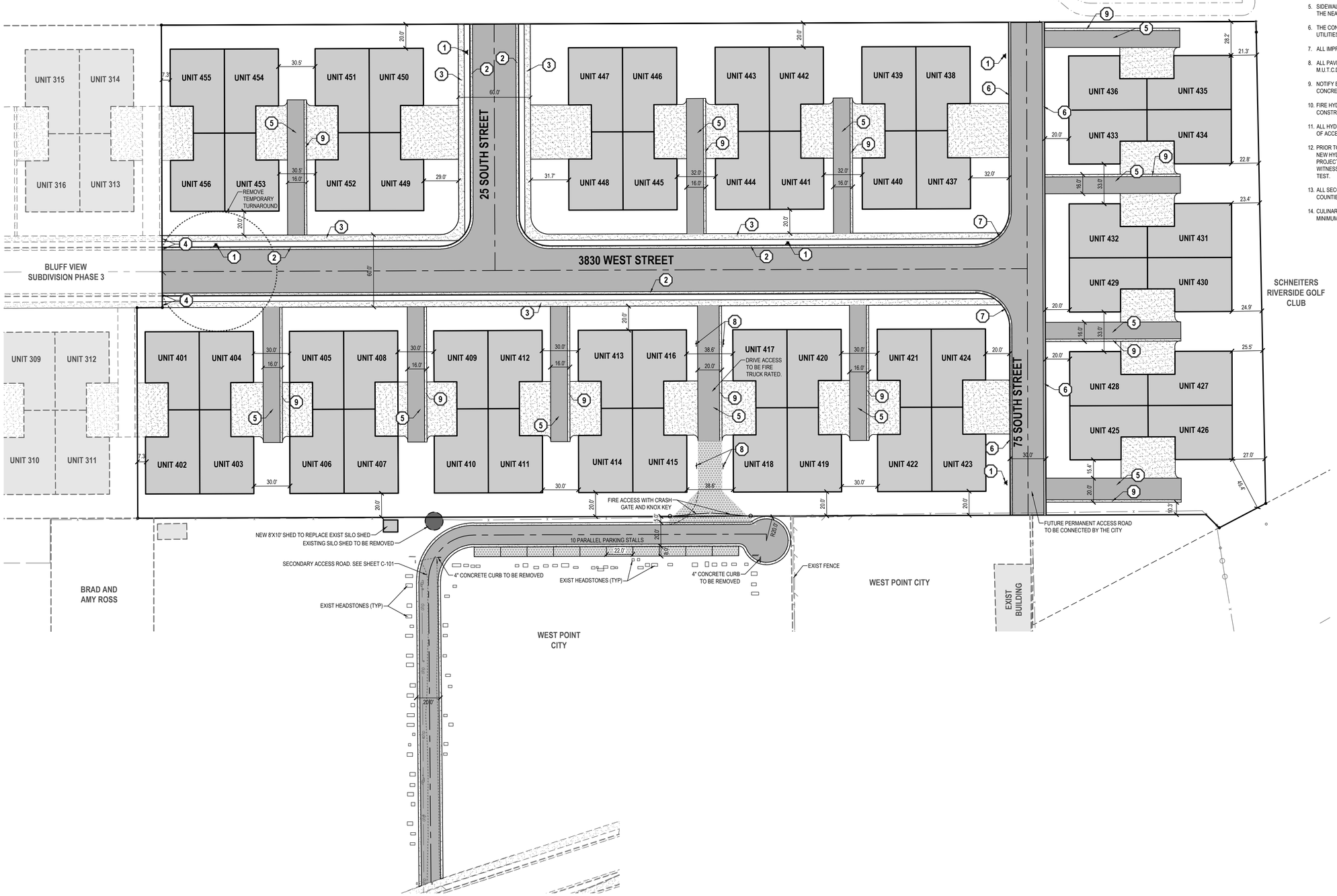
SCOPE OF WORK:

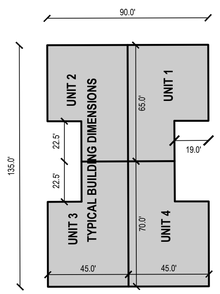
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INSTALL FIRE HYDRANT AND VALVE PER WEST POINT CITY STANDARDS AND SPECIFICATIONS
2. INSTALL 2.5' TYPE "A" CURB & GUTTER PER APWA PLAN # 205 (TYP)
3. INSTALL 5' SIDEWALK PER APWA PLAN # 231 (TYP)
4. MATCH EXISTING IMPROVEMENTS
5. DRIVEWAY TO UNITS PER INDIVIDUAL BUILDING PLANS (TYP)
6. INSTALL 24" MODIFIED APWA TYPE "F" DETAIL 1/C-501
7. TRANSITION FROM 2.5' TYPE "A" CURB AND GUTTER TO 24" MOUNTABLE CURB AND GUTTER
8. "NO PARKING IN FIRE LANE AT ANY TIME" SIGN
9. INSTALL 2' CONCRETE WATERWAY. SEE DETAIL 16/C-500

NOTES

1. ALL WORK TO COMPLY WITH WEST POINT CITY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
7. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
8. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
9. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
10. FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF ANY BUILDINGS.
11. ALL HYDRANTS SHALL BE PLACED WITH THE 4-1/2" CONNECTION FACING THE POINT OF ACCESS FOR FIRE DEPARTMENT APPARATUS.
12. PRIOR TO BEGINNING CONSTRUCTION OF ANY BUILDINGS, A FIRE FLOW TEST OF THE NEW HYDRANTS SHALL BE CONDUCTED TO VERIFY THE ACTUAL FIRE FLOW FOR THIS PROJECT. THE FIRE PREVENTION DIVISION OF NORTH DAVIS FIRE DISTRICT SHALL WITNESS THIS TEST AND SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE TEST.
13. ALL SECONDARY WATER IMPROVEMENTS TO BE INSTALLED PER DAVIS AND WEBER COUNTIES CANAL COMPANY STANDARDS AND SPECIFICATIONS.
14. CULINARY WATER AND SANITARY SEWER LATERALS SHALL BE INSTALLED WITH A MINIMUM OF 10' HORIZONTAL SEPARATION.





THESE BUILDING DIMENSIONS ARE APPROXIMATE AND WILL BE FINALIZED AND APPROVED WITH BUILDING PERMITS

NORTH

HORIZONTAL GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
HORZ: 1 inch = 40 ft.

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
Nilson Land Development LLC
1493 E Ridgeline Dr Ste 52
OGDEN, UTAH 84405
CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
LICENSED
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

SITE PLAN

PROJECT NUMBER 7941B
PRINT DATE 4/8/22
DRAWN BY J.MOSS
CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON

C-100

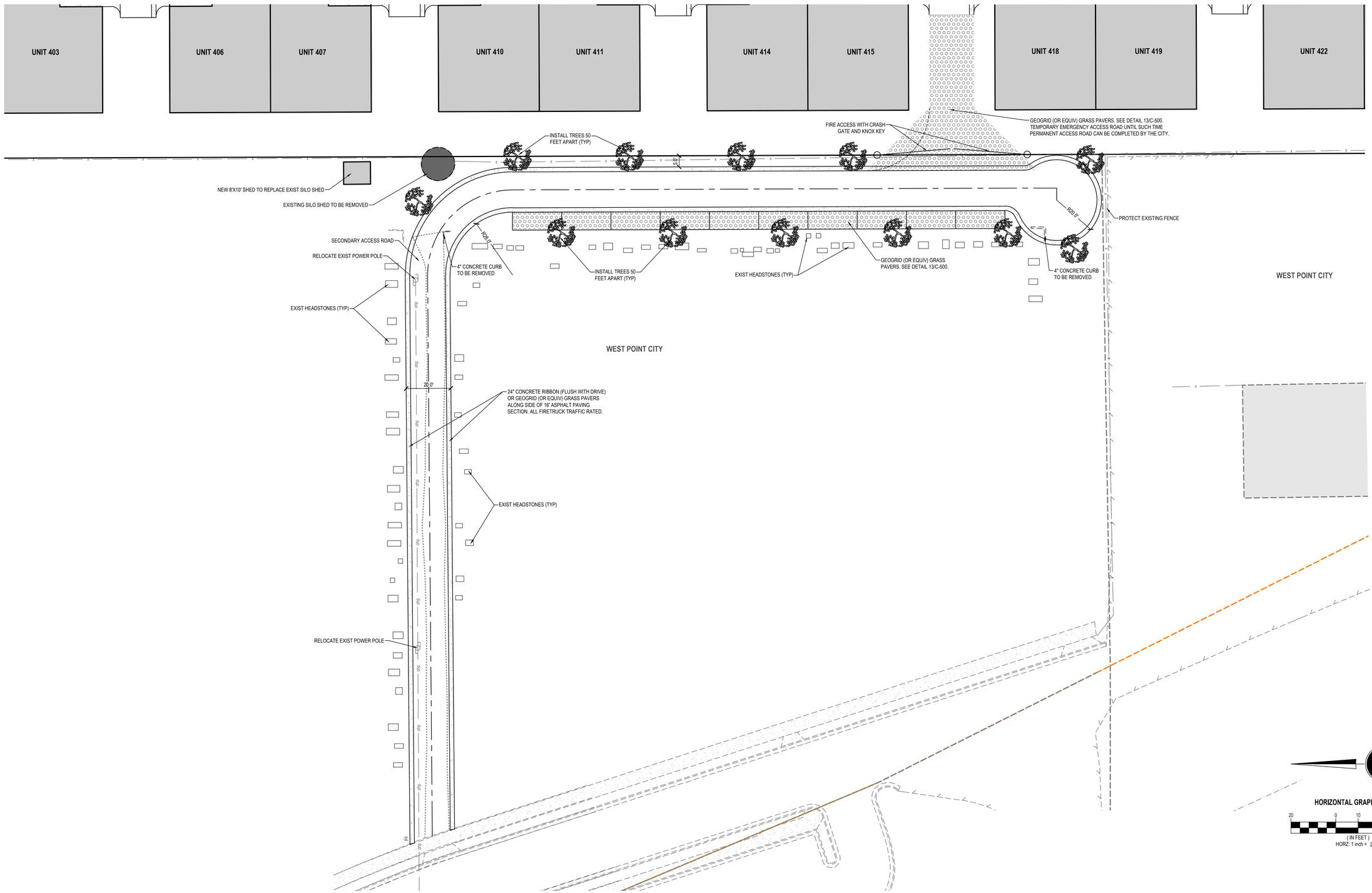
811 Know what's below. Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER
SECTION 5
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4297.17'



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BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

EMERGENCY ACCESS ROAD SITE PLAN

PROJECT NUMBER 7941B
PRINT DATE 4/8/22
DRAWN BY J.MOSS
CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON

C-101

811 Know what's below. Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER
SECTION 5
TOWNSHIP 4 NORTH, RANGE 2 WEST
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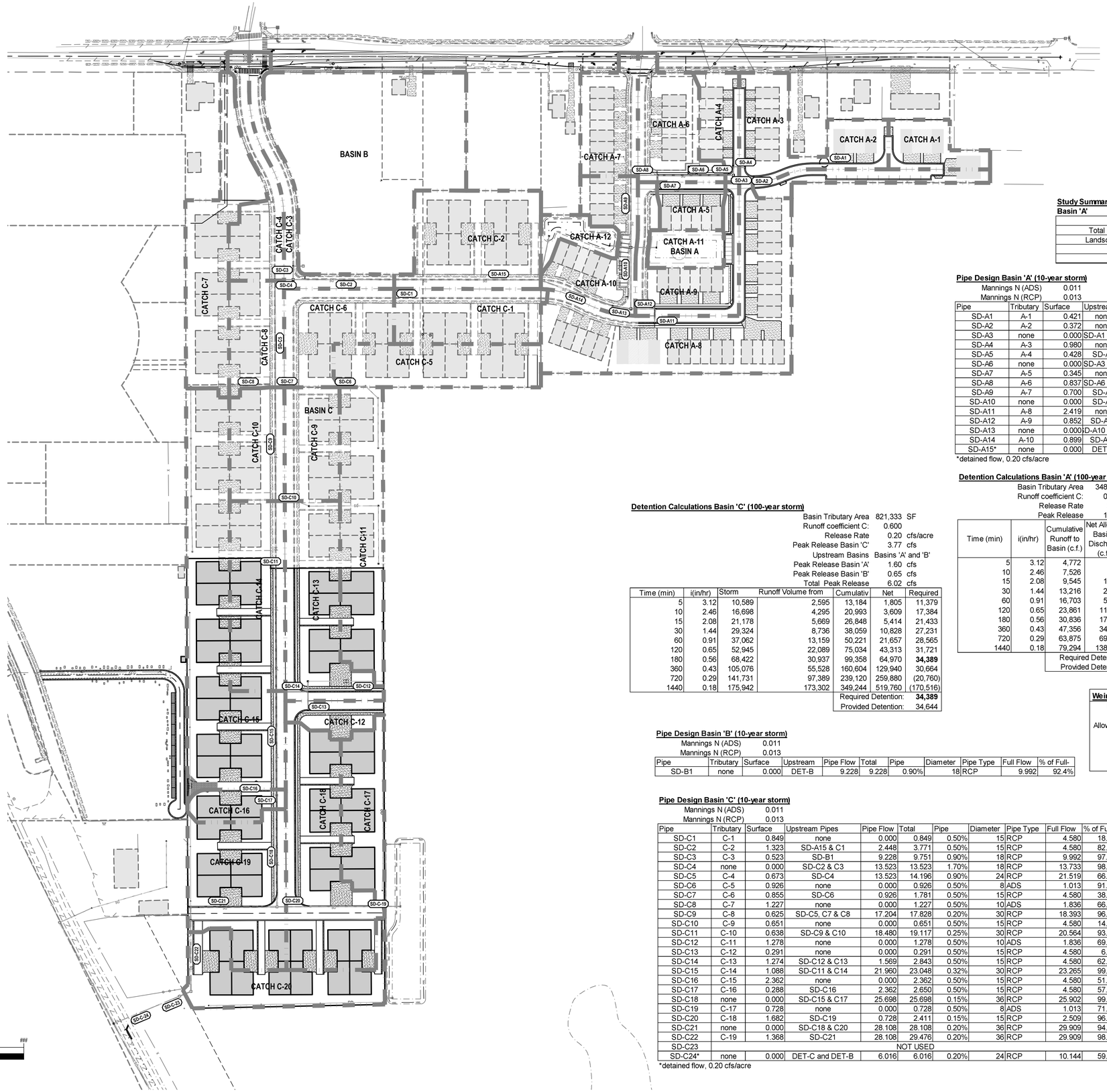

HORIZONTAL GRAPHIC SCALE

0 ## ###

(IN FEET)
HORZ: 1 inch = ### ft.

Basin 'A' 80th Percentile Retention Volume		
i =	0.65	
d =	0.45	in
d =	0.04	ft
R_v =	0.57	
A =	348,275	sf
V_{goal} =	**7,462**	cf
$V_{Provided}$ =	**7,604**	cf
80th %ile HWL =	**4,281.90**	ft

Basin 'A'

Weir Calculations: $Q=C_w(L-0.2H)H^{3/2}$

High Water Elevation:	4,282.65	FT
Weir Elevation:	4,281.90	FT
Allowed Basin Discharge*	1.599	CFS
C_w	3.32	
Weir Height (H):	0.75	FT
Weir Length (L):	0.89	FT
Weir Length (L):	10.69848	IN

Study Summary Statistics
Basin 'A'

	Area	C Value
Total Hardscape	226,472	0.9
Landscaped Area	121,803	0.15
Total Area	348,275	
Weighted Average C		**0.638**

Pipe Design Basin 'A' (10-year storm)

Mannings N (ADS) 0.011
Mannings N (RCP) 0.013

Pipe	Tributary	Surface	Upstream	Pipe Flow	Total	Pipe	Diameter	Pipe Type	Full Flow	% of Full-
SD-A1	A-1	0.421	none	0.000	0.421	0.50%	15	RCP	4.580	9.2%
SD-A2	A-2	0.372	none	0.000	0.372	0.50%	15	RCP	4.580	8.1%
SD-A3	none	0.000	SD-A1 & A2	0.793	0.793	0.50%	15	RCP	4.580	17.3%
SD-A4	A-3	0.980	none	0.000	0.980	1.00%	15	RCP	6.477	15.1%
SD-A5	A-4	0.428	SD-A4	0.980	1.408	1.00%	15	RCP	6.477	21.7%
SD-A6	none	0.000	SD-A3 & A5	2.201	2.201	0.60%	15	RCP	5.017	43.9%
SD-A7	A-5	0.345	none	0.000	0.345	0.50%	15	RCP	4.580	7.5%
SD-A8	A-6	0.837	SD-A6 & A7	2.545	3.382	0.50%	15	RCP	4.580	73.9%
SD-A9	A-7	0.700	SD-A8	3.382	4.082	1.25%	15	RCP	7.242	56.4%
SD-A10	none	0.000	SD-A9	4.082	4.082	0.20%	18	RCP	4.710	86.7%
SD-A11	A-8	2.419	none	0.000	2.419	1.00%	15	RCP	6.477	37.4%
SD-A12	A-9	0.852	SD-A11	2.419	3.272	1.00%	15	RCP	6.477	50.5%
SD-A13	none	0.000	D-A10 & A1	7.354	7.354	0.20%	24	RCP	10.144	72.5%
SD-A14	A-10	0.899	SD-A13	7.354	8.253	0.20%	24	RCP	10.144	81.4%
SD-A15*	none	0.000	DET-A	1.599	1.599	0.50%	15	RCP	4.580	34.9%

*detained flow, 0.20 cfs/acre

Detention Calculations Basin 'A' (100-year storm)

Basin Tributary Area 348,275 SF
Runoff coefficient C: 0.638
Release Rate 0.20 cfs/acre
Peak Release 1.599 cfs

Time (min)	i(in/hr)	Cumulative Runoff to Basin (c.f.)	Net Allowed Basin** Discharge (c.f.)	Required Storage (c.f.)
5	3.12	4,772	480	4,293
10	2.46	7,526	959	6,566
15	2.08	9,545	1,439	8,105
30	1.44	13,216	2,878	10,337
60	0.91	16,703	5,757	10,946
120	0.65	23,861	11,513	12,348
180	0.56	30,836	17,270	**13,567**
360	0.43	47,356	34,540	12,816
720	0.29	63,875	69,079	(5,204)
1440	0.18	79,294	138,159	(58,865)
		Required Detention:		13,567
		Provided Detention:		13,728

Catchment Calculations Basin 'A' (10-year storm)

Time of Concentration: 15 min
Rainfall Intensity I: 1.72 in/hr
Mannings N 0.013

Catchment	Area (SF)	C	Flow (CFS)	Destination
A-1	16,576	0.638	0.421	SD-A1
A-2	14,671	0.638	0.372	SD-A2
A-3	38,589	0.638	0.980	SD-A4
A-4	16,847	0.638	0.428	SD-A5
A-5	13,570	0.638	0.345	SD-A7
A-6	32,968	0.638	0.837	SD-A8
A-7	27,557	0.638	0.700	SD-A9
A-8	95,288	0.638	2.419	SD-A11
A-9	33,570	0.638	0.852	SD-A12
A-10	35,396	0.638	0.899	SD-A14
A-11	12,342	0.150	0.074	DET-A
A-12	10,903	0.150	0.065	DET-A

Detention Calculations Basin 'C' (100-year storm)

Basin Tributary Area 821,333 SF
Runoff coefficient C: 0.600
Release Rate 0.20 cfs/acre
Peak Release Basin 'C' 3.77 cfs
Upstream Basins Basins 'A' and 'B'
Peak Release Basin 'A' 1.60 cfs
Peak Release Basin 'B' 0.65 cfs
Total Peak Release 6.02 cfs

Time (min)	i(in/hr)	Storm	Runoff Volume from	Cumulativ	Net	Required
5	3.12	10,589	2,595	13,184	1,805	11,379
10	2.46	16,698	4,295	20,993	3,609	17,384
15	2.08	21,178	5,669	26,848	5,414	21,433
30	1.44	29,324	8,736	38,059	10,828	27,231
60	0.91	37,062	13,159	50,221	21,657	28,565
120	0.65	52,945	22,089	75,034	43,313	31,721
180	0.56	68,422	30,937	99,358	64,970	**34,389**
360	0.43	105,076	55,528	160,604	129,940	30,664
720	0.29	141,731	97,389	239,120	259,880	(20,760)
1440	0.18	175,942	173,302	349,244	519,760	(170,516)
				Required Detention:		**34,389**
				Provided Detention:		34,644

Pipe Design Basin 'B' (10-year storm)

Mannings N (ADS) 0.011
Mannings N (RCP) 0.013

Pipe	Tributary	Surface	Upstream	Pipe Flow	Total	Pipe	Diameter	Pipe Type	Full Flow	% of Full-
SD-B1	none	0.000	DET-B	9.228	9.228	0.90%	18	RCP	9.992	92.4%

Basin 'C'

Weir Calculations: $Q=C_w(L-0.2H)H^{3/2}$

High Water Elevation:	4,270.50	FT
Weir Elevation:	4,269.75	FT
Allowed Basin Discharge*	6.016	CFS
C_w	3.32	
Weir Height (H):	0.75	FT
Weir Length (L):	2.94	FT
Weir Length (L):	35.27652	IN

Basin 'C' 80th Percentile Retention Volume		
i =	0.72	
d =	0.45	in
d =	0.04	ft
R_v =	0.63	
A =	821,333	sf
V_{goal} =	**19,550**	cf
$V_{Provided}$ =	**19,563**	cf
80th %ile HWL =	**4,269.75**	ft

Pipe Design Basin 'C' (10-year storm)

Mannings N (ADS) 0.011
Mannings N (RCP) 0.013

Pipe	Tributary	Surface	Upstream Pipes	Pipe Flow	Total	Pipe	Diameter	Pipe Type	Full Flow	% of Full-
SD-C1	C-1	0.849	none	0.000	0.849	0.50%	15	RCP	4.580	18.5%
SD-C2	C-2	1.323	SD-A15 & C1	2.448	3.771	0.50%	15	RCP	4.580	82.3%
SD-C3	C-3	0.523	SD-B1	9.228	9.751	0.90%	18	RCP	9.992	97.6%
SD-C4	none	0.000	SD-C2 & C3	13.523	13.523	1.70%	18	RCP	13.733	98.5%
SD-C5	C-4	0.673	SD-C4	13.523	14.196	0.90%	24	RCP	21.519	66.0%
SD-C6	C-5	0.926	none	0.000	0.926	0.50%	8	ADS	1.013	91.5%
SD-C7	C-6	0.855	SD-C6	0.926	1.781	0.50%	15	RCP	4.580	38.9%
SD-C8	C-7	1.227	none	0.000	1.227	0.50%	10	ADS	1.836	66.8%
SD-C9	C-8	0.625	SD-C5, C7 & C8	17.204	17.828	0.20%	30	RCP	18.393	96.9%
SD-C10	C-9	0.651	none	0.000	0.651	0.50%	15	RCP	4.580	14.2%
SD-C11	C-10	0.638	SD-C9 & C10	18.480	19.117	0.25%	30	RCP	20.564	93.0%
SD-C12	C-11	1.278	none	0.000	1.278	0.50%	10	ADS	1.836	69.6%
SD-C13	C-12	0.291	none	0.000	0.291	0.50%	15	RCP	4.580	6.4%
SD-C14	C-13	1.274	SD-C12 & C13	1.569	2.843	0.50%	15	RCP	4.580	62.1%
SD-C15	C-14	1.088	SD-C11 & C14	21.960	23.048	0.32%	30	RCP	23.265	99.1%
SD-C16	C-15	2.362	none	0.000	2.362	0.50%	15	RCP	4.580	51.6%
SD-C17	C-16	0.288	SD-C16	2.362	2.650	0.50%	15	RCP	4.580	57.9%
SD-C18	none	0.000	SD-C15 & C17	25.698	25.698	0.15%	36	RCP	25.902	99.2%
SD-C19	C-17	0.728	none	0.000	0.728	0.50%	8	ADS	1.013	71.9%
SD-C20	C-18	1.682	SD-C19	0.728	2.411	0.15%	15	RCP	2.509	96.1%
SD-C21	none	0.000	SD-C18 & C20	28.108	28.108	0.20%	36	RCP	29.909	94.0%
SD-C22	C-19	1.368	SD-C21	28.108	29.476	0.20%	36	RCP	29.909	98.6%
SD-C23	NOT USED									
SD-C24*	none	0.000	DET-C and DET-B	6.016	6.016	0.20%	24	RCP	10.144	59.3%

*detained flow, 0.20 cfs/acre

Catchment Calculations Basin 'C' (10-year storm)

Time of Concentration: 15 min
Rainfall Intensity I: 1.72 in/hr
Mannings N 0.013

Catchment	Area (SF)	C	Flow (CFS)	Destination
C-1	35,543	0.600	0.849	SD-C1
C-2	55,384	0.600	1.323	SD-C2
C-3	21,899	0.600	0.523	SD-C3
C-4	28,185	0.600	0.673	SD-C5
C-5	38,773	0.600	0.926	SD-C6
C-6	35,789	0.600	0.855	SD-C7
C-7	51,346	0.600	1.227	SD-C8
C-8	26,156	0.600	0.625	SD-C9
C-9	27,255	0.600	0.651	SD-C10
C-10	26,703	0.600	0.638	SD-C11
C-11	53,487	0.600	1.278	SD-C12
C-12	12,196	0.600	0.291	SD-C13
C-13	53,322	0.600	1.274	SD-C14
C-14	45,528	0.600	1.088	SD-C15
C-15	98,889	0.600	2.362	SD-C16
C-16	12,038	0.600	0.288	SD-C17
C-17	30,477	0.600	0.728	SD-C19
C-18	70,429	0.600	1.682	SD-C20
C-19	57,245	0.600	1.368	SD-C22
C-20	40,691	0.600	0.972	OFFSITE

TOTAL FLOW 15.599

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CONTACT:
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BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
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4-8-22
CLAYTON HESS PRESTON
STATE OF UTAH

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STORM DRAIN CALCULATIONS

PROJECT NUMBER 7941B
PRINT DATE 4/8/22
DRAWN BY J.MOSS
CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON

C-202

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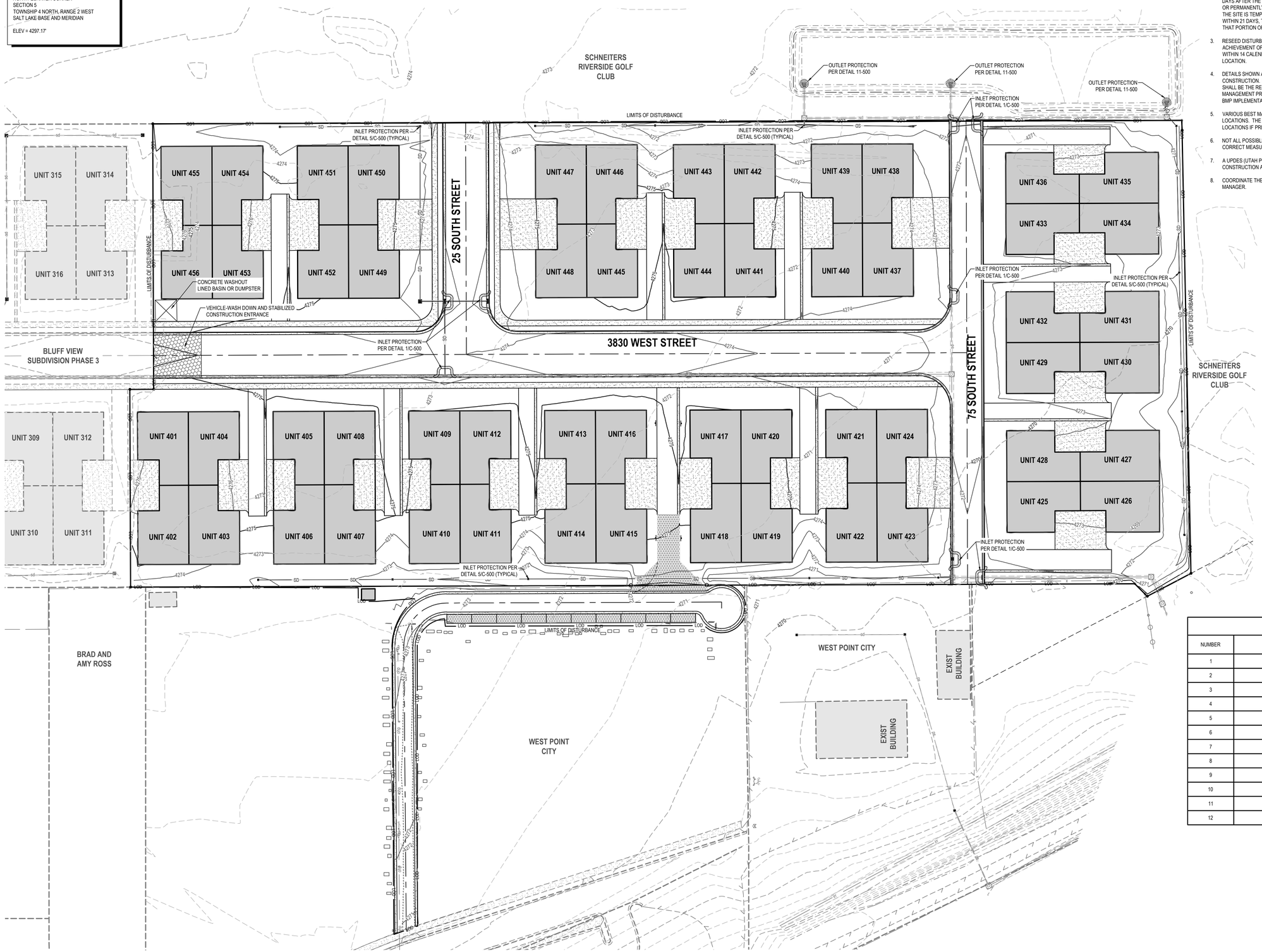
ELEV = 4297.17'



GENERAL NOTES

1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
6. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.
8. COORDINATE THE SWPPP WITH WEST POINT CITY AND THE WEST POINT CITY STORM WATER MANAGER.

REVISION SCHEDULE

NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
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NORTH

HORIZONTAL GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
HORZ: 1 inch = 40 ft.

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FOR:
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BLUFF VIEW SUBDIVISION PHASE 4

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WEST POINT, UTAH

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LICENSED
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4-8-22
CAMERON HESS PRESTON
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EROSION CONTROL PLAN

PROJECT NUMBER 7941B
PRINT DATE 4/8/22
DRAWN BY J.MOSS
CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON

C-400

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SALT LAKE BASE AND MERIDIAN

ELEV = 4297.17'

SCOPE OF WORK:

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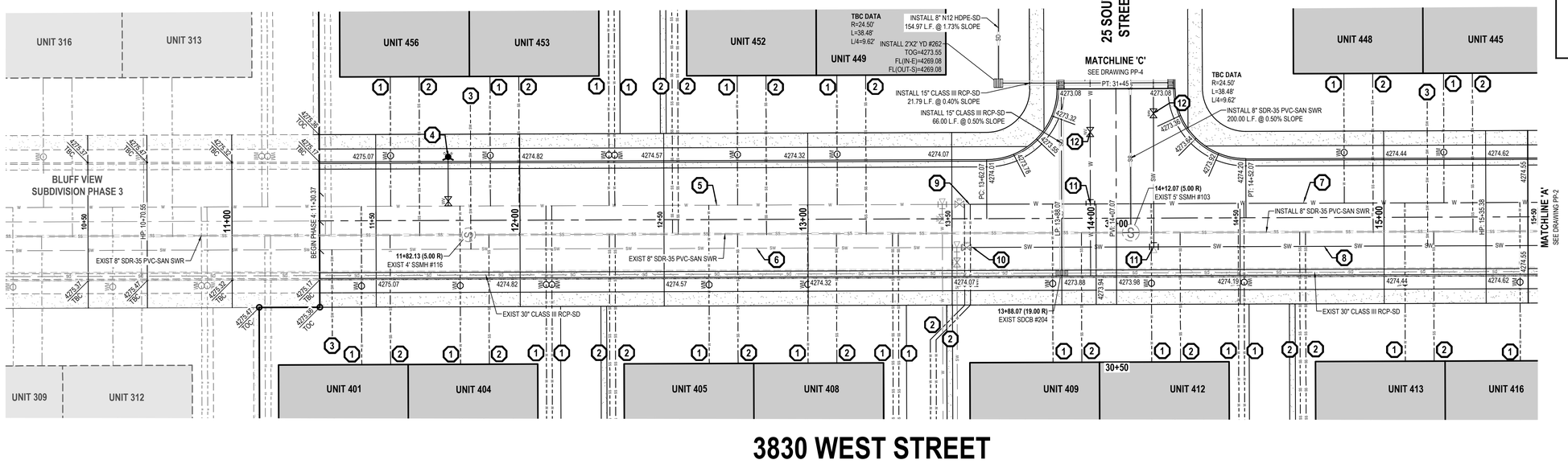
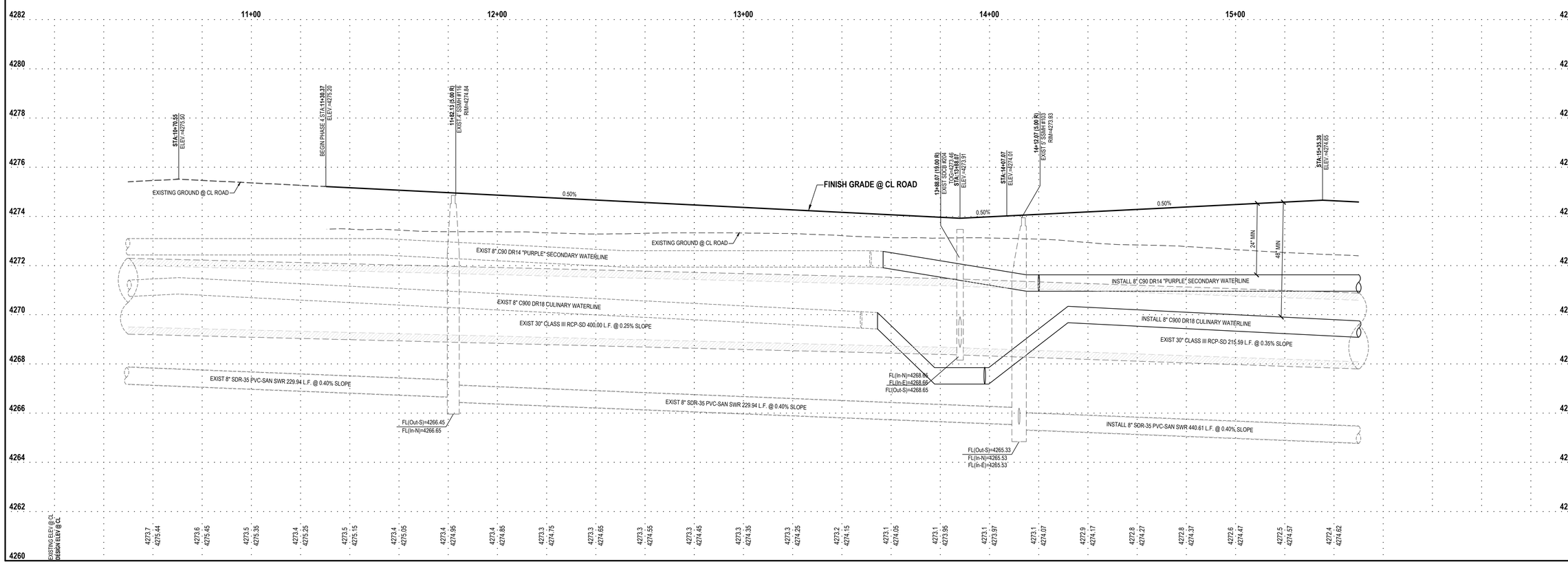
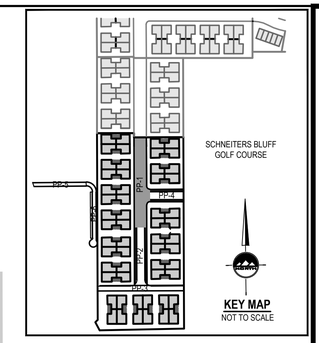


3830 WEST STREET





NORTH

HORIZONTAL GRAPHIC SCALE

20 0 10 20 40

(IN FEET)
HORZ: 1 inch = 20 ft.
VERT: 1 inch = 2 ft.

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
Nilson Land Development LLC
1493 E Ridgeline Dr Ste 52
OGDEN, UTAH 84405
CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
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3830 WEST STREET PLAN AND PROFILE

PROJECT NUMBER	PRINT DATE
7941B	4/8/22
DRAWN BY	CHECKED BY
J.MOSS	C. PRESTON
PROJECT MANAGER	
C. PRESTON	

PP-1

811 Know what's below. Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER
SECTION 5
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN

ELEV = 4297.17'

SCOPE OF WORK:

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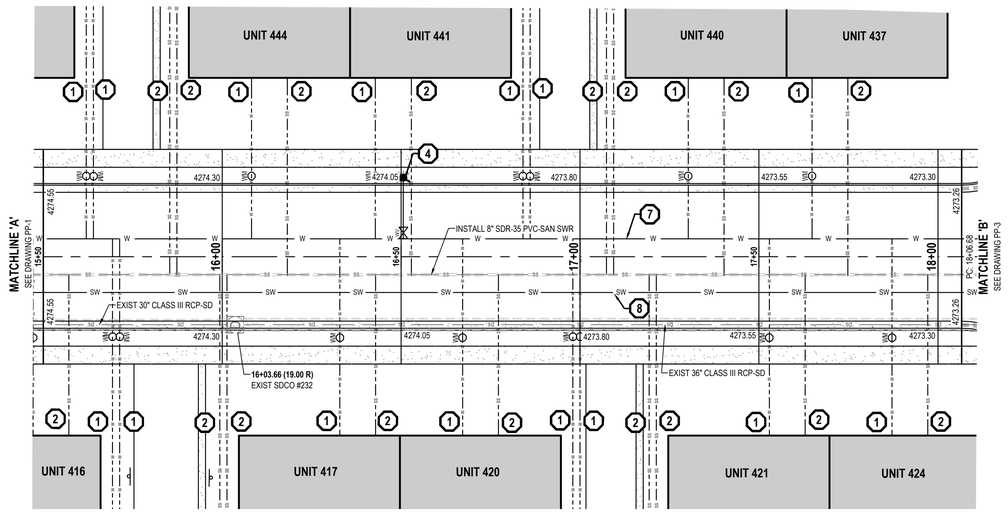

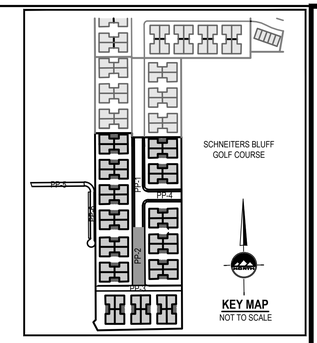

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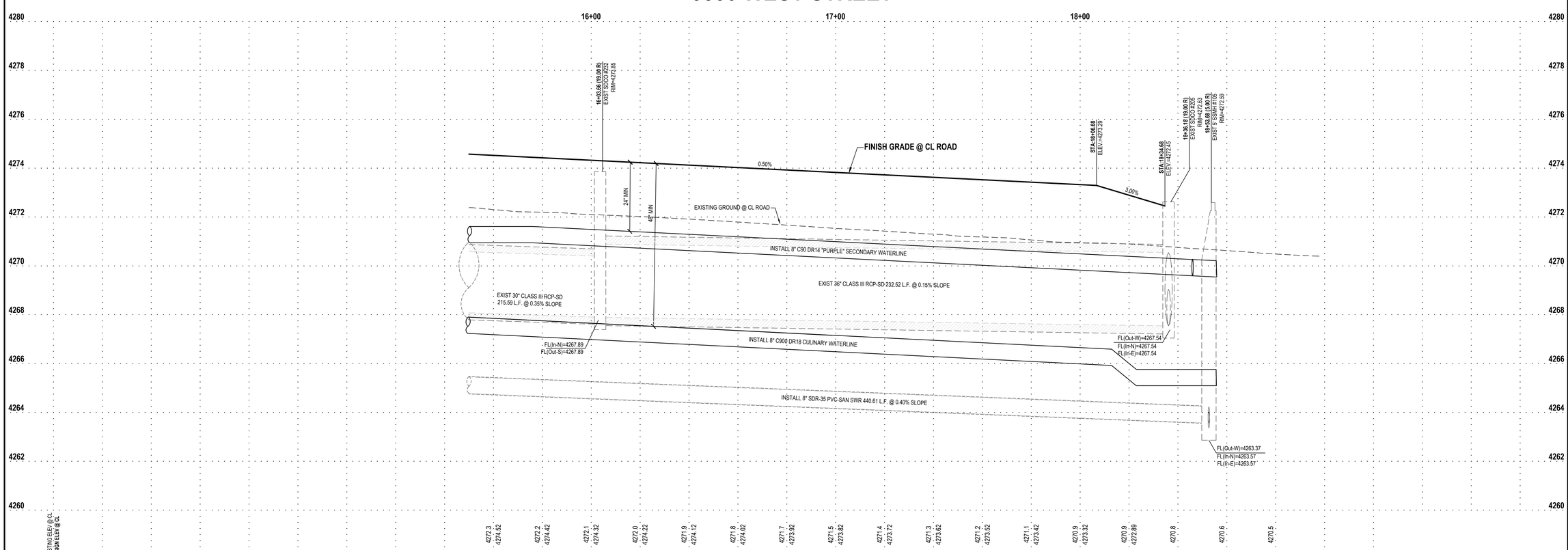

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FOR:
Nilson Land Development LLC
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OGDEN, UTAH 84405
CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
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3830 WEST STREET PLAN AND PROFILE

PROJECT NUMBER 7941B	PRINT DATE 4/8/22
DRAWN BY J.MOSS	CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON	

PP-2

811 Know what's below. Call before you dig.

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BENCHMARK

NORTH QUARTER CORNER
SECTION 5
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SALT LAKE BASE AND MERIDIAN

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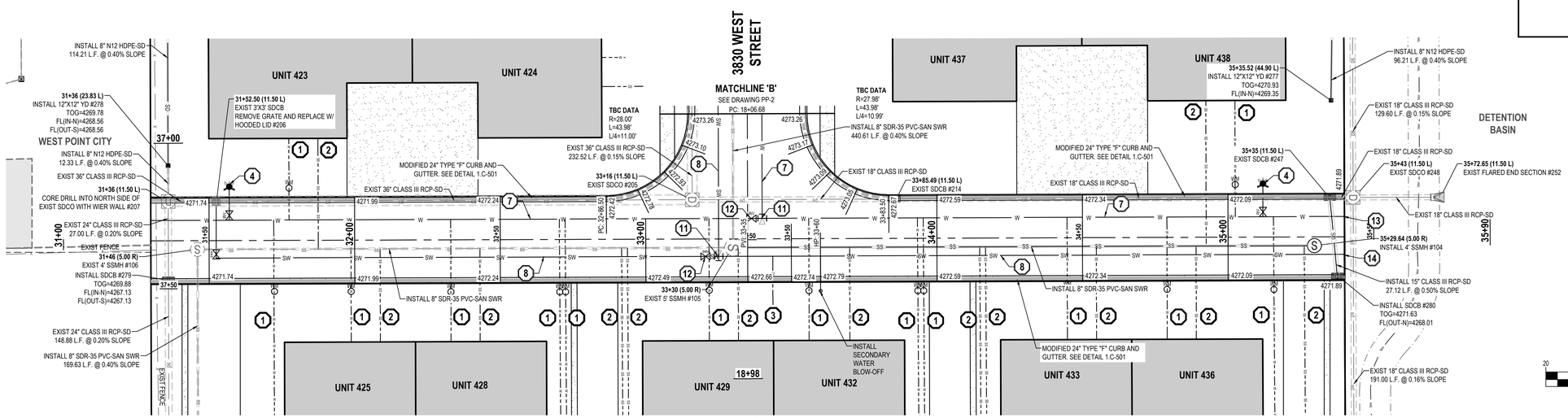

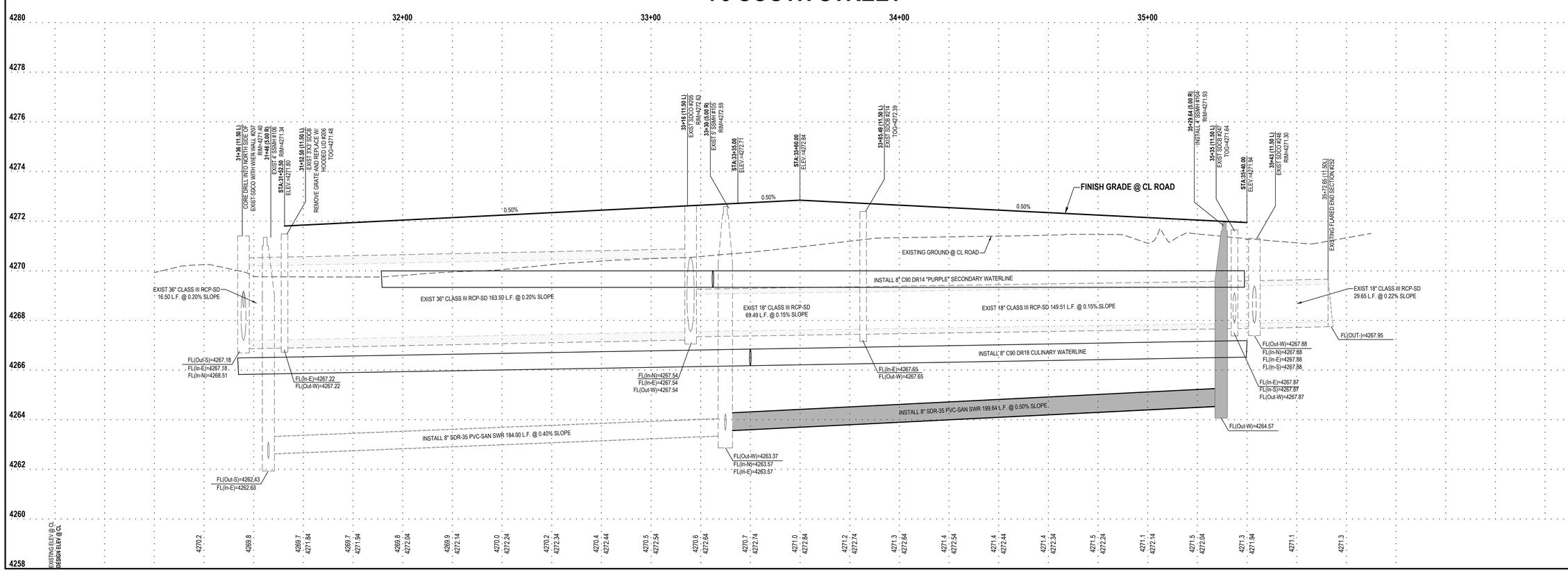

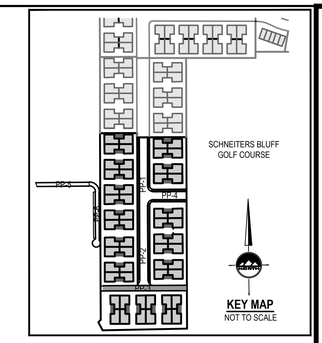

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FOR:
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CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER No. 5049039 4-8-22 CAMERON HESS PRESTON STATE OF UTAH

NO.	DATE	REVISION	BY
1		FOR REVIEW	
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75 SOUTH STREET PLAN AND PROFILE

PROJECT NUMBER 7941B	PRINT DATE 4/8/22
DRAWN BY J.MOSS	CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON	

PP-3

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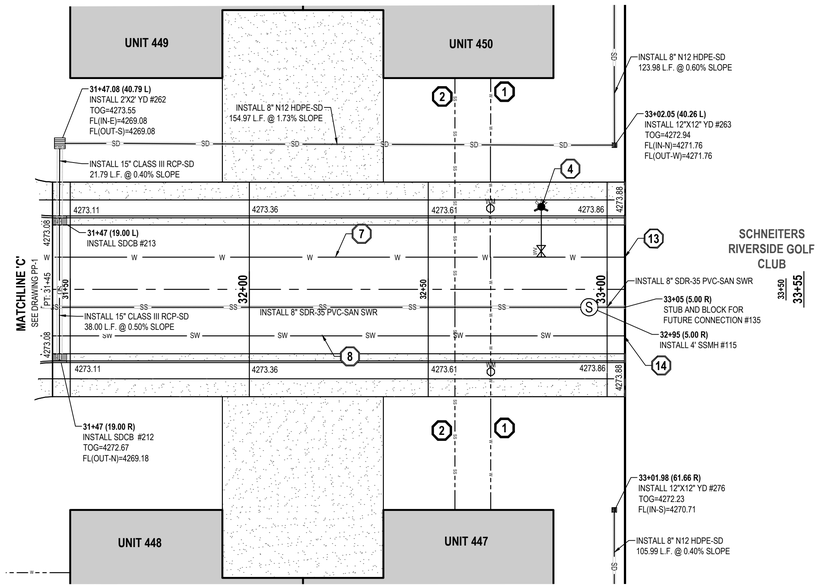
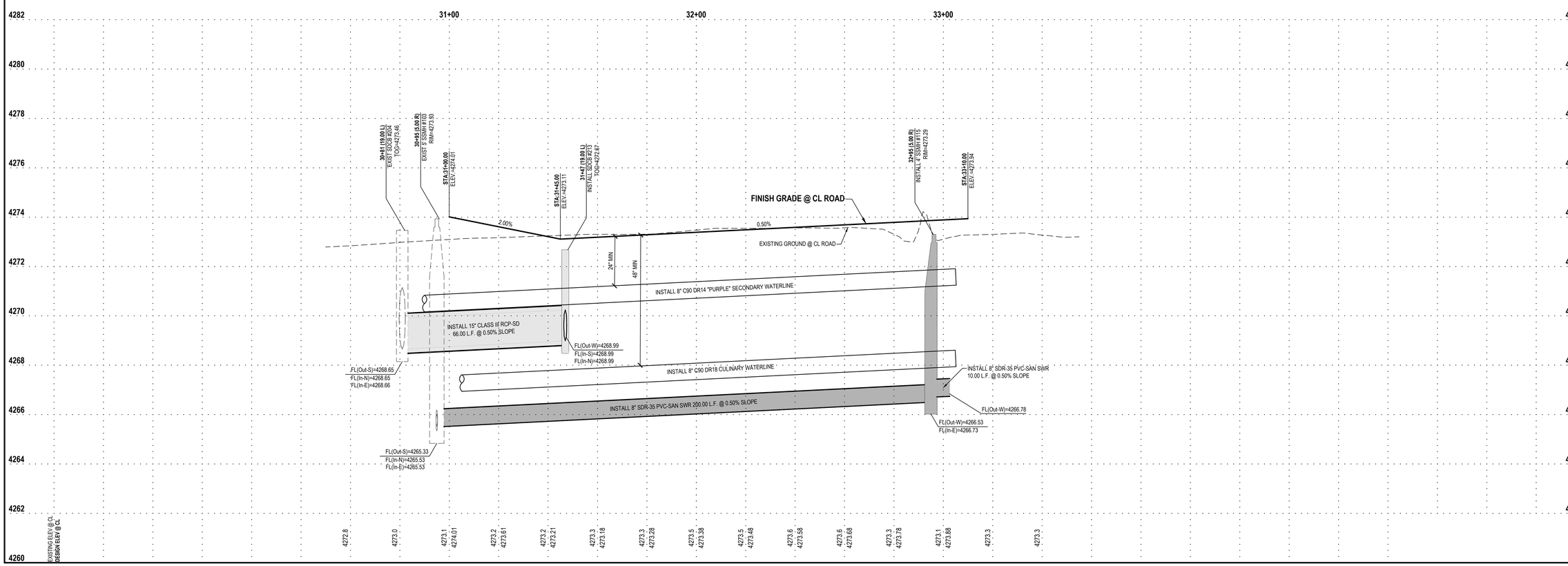
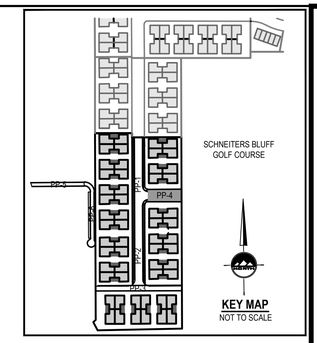
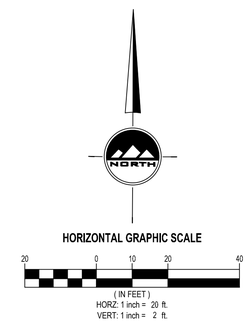


25 SOUTH STREET







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CONTACT:
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BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1			
2		FOR REVIEW	
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25 SOUTH STREET PLAN AND PROFILE

PROJECT NUMBER 7941B	PRINT DATE 4/8/22
DRAWN BY J.MOSS	CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON	

PP-4

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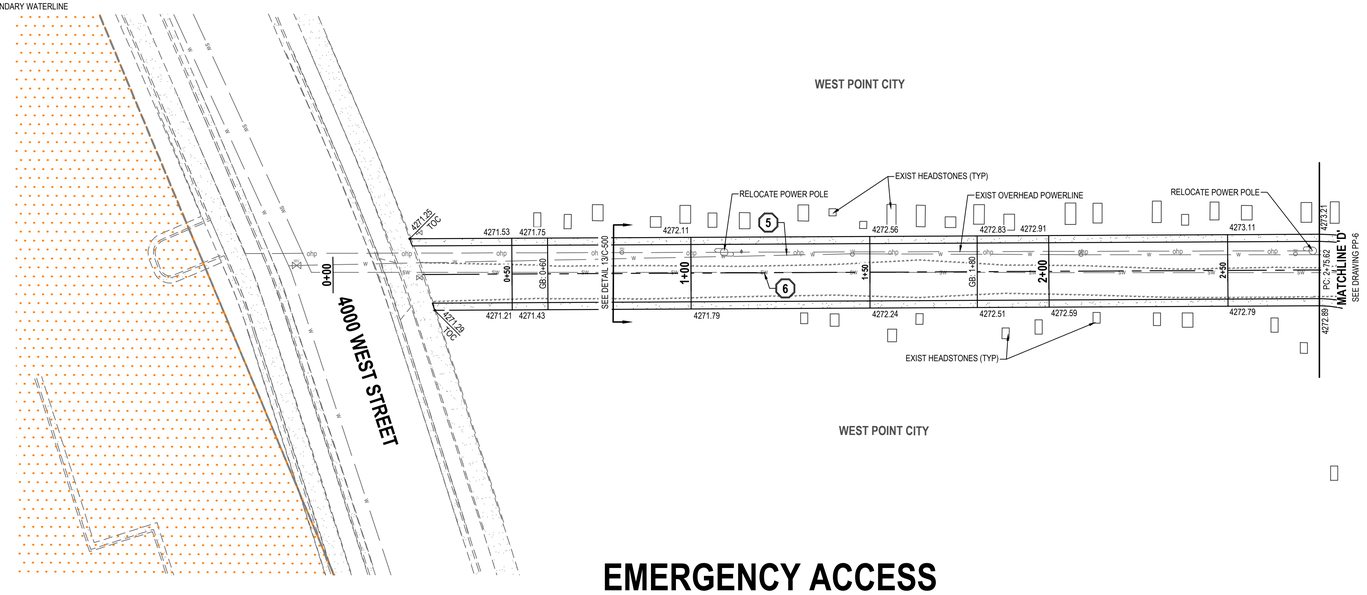

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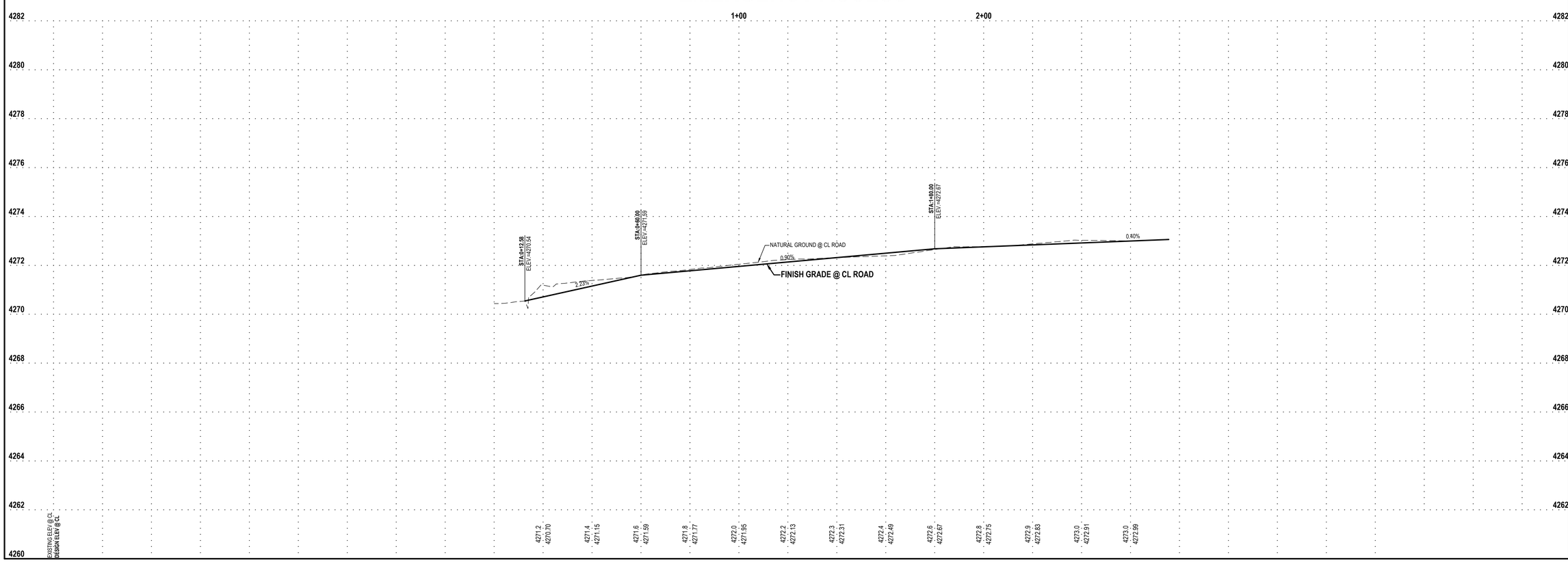

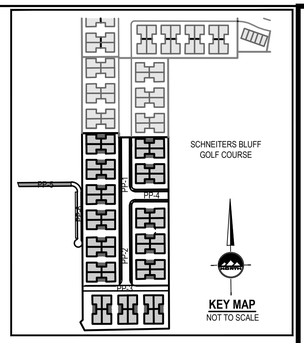

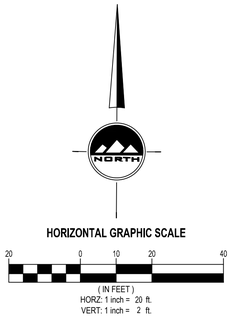

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BLUFF VIEW SUBDIVISION PHASE 4

3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
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EMERGENCY ACCESS ROAD PLAN AND PROFILE

PROJECT NUMBER: 7941B
PRINT DATE: 4/8/22
DRAWN BY: J.MOSS
CHECKED BY: C. PRESTON
PROJECT MANAGER: C. PRESTON

PP-5

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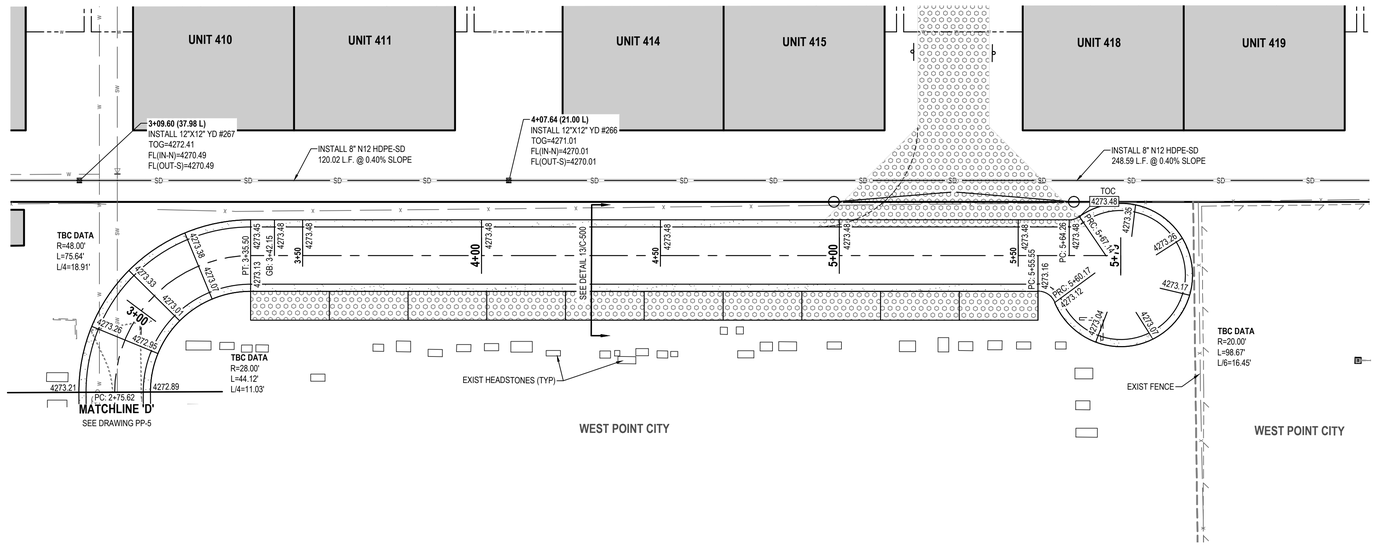

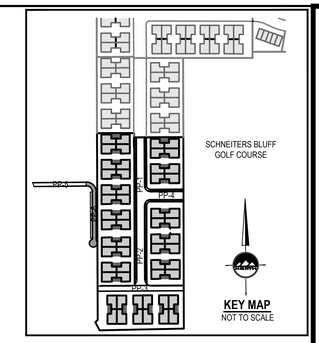

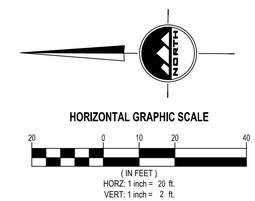

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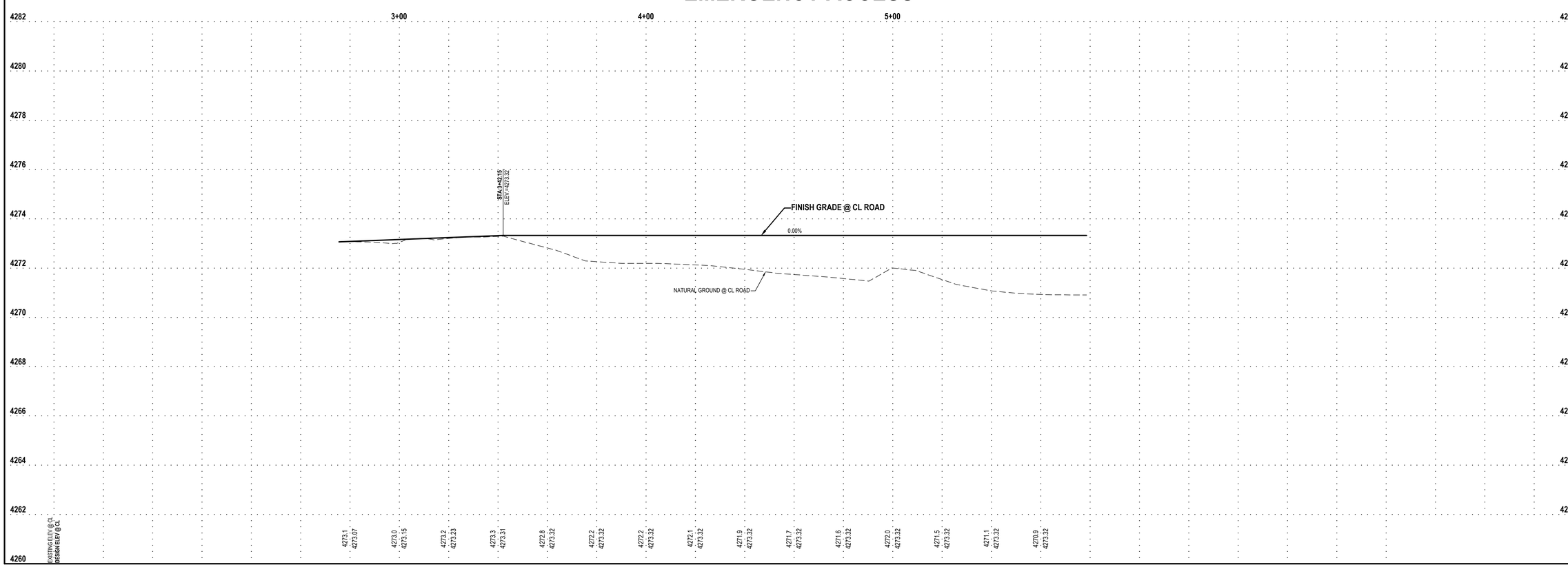


ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
Nilson Land Development LLC
1493 E Ridgeline Dr Ste 52
OGDEN, UTAH 84405
CONTACT:
BRYAN BAYLES
PHONE: 801-634-2129

BLUFF VIEW SUBDIVISION
PHASE 4
3830 WEST 300 NORTH
WEST POINT, UTAH

PROFESSIONAL ENGINEER
No. 5049039
4-8-22
STATE OF UTAH
CAMERON HESS PRESTON

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

EMERGENCY ACCESS ROAD PLAN AND PROFILE

PROJECT NUMBER 7941B
PRINT DATE 4/8/22
DRAWN BY J.MOSS
CHECKED BY C. PRESTON
PROJECT MANAGER C. PRESTON

PP-6

CITY COUNCIL STAFF REPORT

Subject: Discussion of a plat amendment for Antelop Ridge
Author: Bryn MacDonald
Department: Community Development
Meeting Date: April 19, 2022

Background

The applicant, Rob Wilcox, is seeking a plat amendment for 3 lots located at approximately 3910 W 1300 N. The request is to amend the lot lines between 3 existing lots. No new lots are being created. The current lots are shown on the map below.

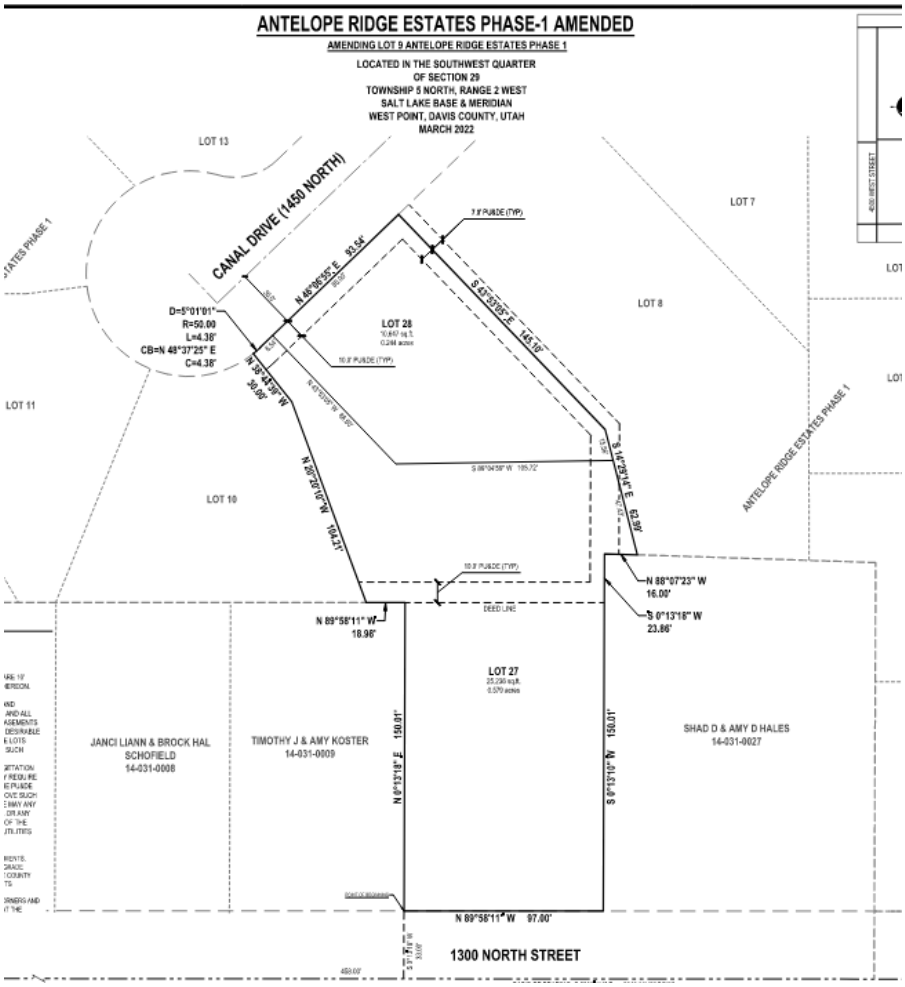
Process

A plat amendment is an administrative decision that is made by the City Council. The City council must hold a public hearing after notifying the affected entities and all property owners involved. After the Council approves the plat amendment, the plat must be signed by each of the lot owners involved.

Analysis

Staff has reviewed the plans and provided comments back to the developer and project engineer. All of the items that are required before Final Plat will need to be addressed.

The plat is being amended in order to enlarge lot to the south and add the shop that is built on the lot to the north. Lot 28 will be smaller than the original lot, but will still meet the zoning code. They plan to build a new home on lot 28.



Recommendation

This item is on for discussion only. No action is requested at this time.

Attachments

A. Plans

3200 West 300 North
West Point, UT 84015
PH: 801.776.0970
FAX: 801.525.9150
www.westpointcity.org

Subdivision Plan Application

All applications submitted must be made in accordance with the Title 16 & 17 of the West Point City Code, Governing all Land Use and Subdivision Developments. A new application is required for each application type.

For Office Use Only Received Payment		
$ 300.00	3-8-22	OK
AMOUNT PAID	DATE RECIVED	INITIAL

Amendment	$300
Conceptual Plan	No Fee
Preliminary Plan/Plat	$300 + $25 per lot
Final Plan/Plat	$600 + $50 per lot

Application Type – *what type of application are you seeking?*

☐ Concept Plan ☐ Preliminary Plan/Plat ☐ Final Plan/Plat ☒ Amendment

Subdivision Property Information

Proposed Subdivision Name: Antelope Ridge Est. Phase 1	*Current Zoning:	Total Acreage: .244	
Approximate Address: 1450 N.	Number of Lots: 1	**Concept Review Date:	**Preliminary Approval Date:

Developer/Agent Contact Information

Contact Name: Rob Wilcox	Company: Rob Wilcox Construction	Owner of Property? ☐ YES ☒ NO	
Address: 1414 N. 5000 W.	City: West Point	State: UT	Zip: 84015
Contact Office Phone:	Contact Cell Phone: 801 589-5999	Contact Email: Rob.Wilcox.Construction@Gmail.com	

Engineer Contact Information

Name: Trent Williams	Company: Ensign		
Address: 919 N. 400 W.	City: Layton	State: UT.	Zip: 84015
Contact Office Phone: 801 547-1100	Contact Cell Phone: 801 529-2901	Contact Email: tWilliams@ensignutah.com	

*IF THE DEVELOPMETNT REQUIRES A CHANGE IN ZONING/A REZONE APPLICATION IS REQUIRED
**IF APPLICIPABLE

NOTE: *If the agent listed above is not the property owner, he/she must be authorized as the assigned "AGENT" by completing the* ***STATEMENT OF OWNERSHIP/DESIGNATION OF AGENT*** *section below. This authorization only needs to be completed once, prior to concept approval.*

I hereby certify that the requested Subdivision would comply with all required conditions and standards of the West Point City Subdivision and Land Use Ordinance, be harmonious with neighboring uses, fit the goals of the community's General Plan, and impose no insatiable demands for public services. I have read the West Point Subdivision and Land Use Ordinances and understand that submitting this Application does not guarantee approval and is subject to the discretion of the City Land Use Authority and compliance with all requirements of West Point City's Municipal Code.

Robert Wilcox — Developer/Agent Signature

March 3, 2022 — Date

Statement of Ownership/Designation of Agent (provide a small plat map showing ownership)

As the undersigned legal owners of the property described on a short plat map, we designate Robert Stuart to act as the agent with respect to this application.

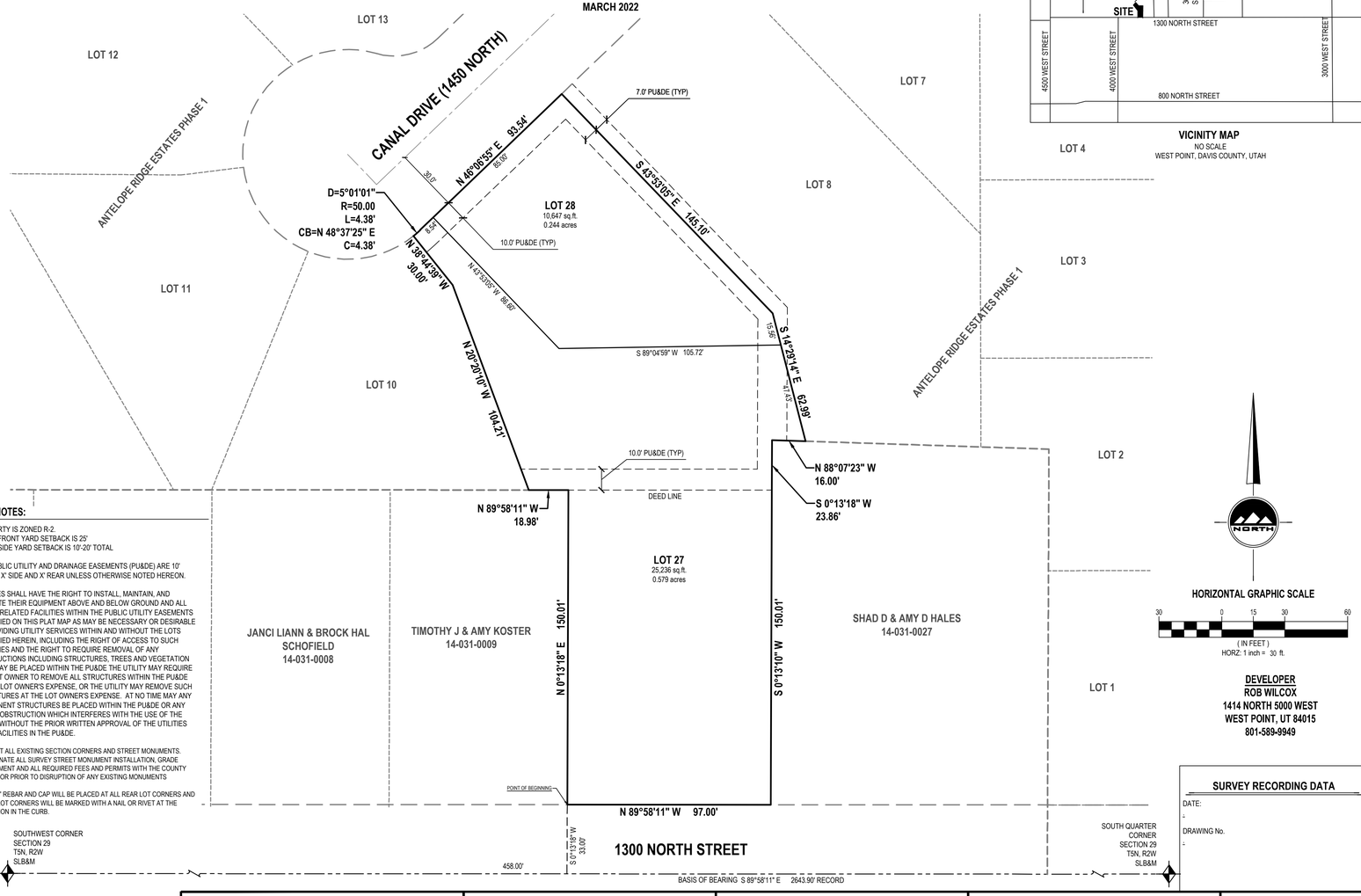
Property Owner Signature — Robert Stuart — Print Name — 3-8-22 — Date

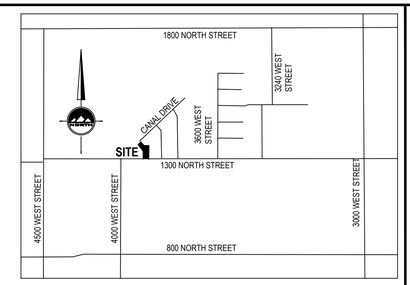
-West Point City Subdivision Plan Application Form - Updated **JULY 2015** -

ANTELOPE RIDGE ESTATES PHASE-1 AMENDED

AMENDING LOT 9 ANTELOPE RIDGE ESTATES PHASE 1

LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 29
TOWNSHIP 5 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
WEST POINT, DAVIS COUNTY, UTAH
MARCH 2022





VICINITY MAP
NO SCALE
WEST POINT, DAVIS COUNTY, UTAH

GENERAL NOTES:

1. PROPERTY IS ZONED R-2.
   A. FRONT YARD SETBACK IS 25'
   B. SIDE YARD SETBACK IS 10'-20' TOTAL
2. ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU&DE) ARE 10' FRONT, X' SIDE AND X' REAR UNLESS OTHERWISE NOTED HEREON.
3. UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PU&DE THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PU&DE AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PU&DE OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE PU&DE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PU&DE.
4. PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY CURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS
5. 5/8" X 24" REBAR AND CAP WILL BE PLACED AT ALL REAR LOT CORNERS AND FRONT LOT CORNERS WILL BE MARKED WITH A NAIL OR RIVET AT THE EXTENSION IN THE CURB.

SURVEYOR'S CERTIFICATE

I, TRENT R. WILLIAMS, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold License No. 8934679 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act. I further certify that by authority of The Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements and that the monuments shown on this plat are located as indicated and are sufficient to accurately establish the boundaries of the herein described tract of real property and that it has been drawn correctly and is a true and correct representation of the herein described lands included in said subdivision based on data compiled from The County Recorder's office. I further certify that all lots meet frontage width and area requirements of applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Southeast Quarter of Section 29, Township 5 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Davis County, Utah. Being more particularly described as follows:

Beginning at a point on the North line of 1300 North Street, said point being South 89°58'11" East 458.00 feet and North 00°13'18" East 33.00 feet from the Southwest Corner of said Section 29 and running thence:

North 00°13'18" East 150.01 feet to a point on the South line of Lot 9 of Antelope Ridge Estates, Phase 1 and thence along the South line of said Lot 9 the following (1) course and distance:
1. North 89°58'11" West 18.98 feet to the Southeast corner of Lot 10 of Antelope Ridge Estates, Phase 1;

thence along the East line of Said lot 10 the following two (2) courses and distances:
1. North 20°20'10" West 104.21 feet;
2. thence North 38°44'39" West 30.00 feet to a point on the South line of Canal Drive (1450 North Street);

thence along the said South line of Canal Drive the following two (2) courses and distance:
1. Northeasterly 4.38 feet along the arc of a 50.00 foot radius non-tangent curve to the left (center bears North 38°52'04" West and the long chord bears North 48°37'25" East 4.38 feet with a central angle of 05°01'01");
2. North 46°06'55" East 93.54 feet to the Southeast corner of Lot 8 of Antelope Ridge Estates Phase 1;

thence along the West line of Said lot 8 the following (1) course and distance:
1. South 43°53'05" East 145.10 feet;

thence South 14°29'14" East 62.99 feet to a point on the South line of said Lot 8;
thence along the South line of said Lot 8 the following (1) course and distance:
1. North 88°07'23" West 16.00 feet to a point on the East line of said Lot 9;

thence South 00°13'11" West 173.87 feet;
thence North 89°58'11" West 97.00 feet to the Point of Beginning.

Contains: 35,883 square feet or 0.824 acres.

OWNER'S DEDICATION

Known all men by these presents that I / we, the under- signed owner (s) of the above described tract of land, having caused same to be subdivided, hereafter known as the

ANTELOPE RIDGE ESTATES PHASE-1 AMENDED

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use.
In witness whereof I / we have hereunto set our hand (s) this_____day of_____A.D., 20_____.

By: _____ By: _____

By: _____ By: _____

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH
County of Davis |S.S.

On the _____ day of _____ A.D., 20_____, _____, personally appeared before me, the undersigned Notary public, in and for said County of _____ in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication,_____ in number, freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES:_____,

_____ RESIDING IN_____ COUNTY.
NOTARY PUBLIC

DEVELOPER
ROB WILCOX
1414 NORTH 5000 WEST
WEST POINT, UT 84015
801-589-9949

SURVEY RECORDING DATA

DATE:
-
DRAWING No.
-

ANTELOPE RIDGE ESTATES PHASE-1 AMENDED

LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 29
TOWNSHIP 5 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
WEST POINT, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE
PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____, 20 _____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE

DAVIS COUNTY RECORDER

BY _____
DEPUTY RECORDER

LEGEND

- SECTION CORNER
- EXISTING STREET MONUMENT
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSIGN ENG. & LAND SURV."
- EASEMENTS

ENSIGN

LAYTON
919 North 400 West
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315

WWW.ENSIGNENG.COM

SALT LAKE CITY
Phone: 801.255.0529
TOOELE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.896.2983

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20_____,
BY THE WEST POINT CITY ATTORNEY.

WEST POINT CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20_____,
BY THE CITY PLANNING COMMISSION APPROVAL

CHAIRMAN, WEST POINT CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20_____,
BY THE WEST POINT CITY ENGINEER

WEST POINT CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20_____,
BY THE WEST POINT CITY COUNCIL

CITY RECORDER CITY MAYOR

SHEET 1 OF 1

PROJECT NUMBER : 11414
MANAGER : T.WILLIAMS
DRAWN BY : A.SHELBY
CHECKED BY : T.WILLIAMS
DATE : 3/1/22

CITY COUNCIL STAFF REPORT

Subject: 2000 West Landscaping
Author: Boyd Davis
Department: Engineering
Meeting Date: April 19, 2022

Background

The next phase of the 2000 West widening project will begin next year. UDOT has supplied West Point with some landscaping and betterment options that they would like us to consider. UDOT will pay for minimal landscaping improvements and West Point must pay for anything additional. The attached spreadsheets show the various options and what the City would be required to pay.

Analysis

Three options are summarized below:

Option 1 - **$302,000**

- Landscaped Park/Detention Pond with amenities
- Stamped Concrete in park strips on both sides
- Street Trees on both sides with grates
- Trail Markers
- Powder Coated Street Lights (tall cobra heads)

Option 2 - **$48,000**

- ~~Landscaped Park/Detention Pond with amenities~~
- Stamped Concrete in park strips on both sides
- Street Trees on ~~both sides~~ west side only, with grates
- Trail Markers
- Powder Coated Street Lights (tall cobra heads)

Option 3 - **$22,000**

- ~~Landscaped Park/Detention Pond with amenities~~
- Stamped Concrete in park strips on both sides
- ~~Street Trees on both sides West Side Only~~ planters rather than trees, west side only
- Trail Markers
- Powder Coated Street Lights (tall cobra heads)

There are a couple of items that could be removed to save additional costs. First, the metal grates around the base of the trees could be replaced with bark or rock mulch. Also, the trail markers could be removed.

It should be noted that a prior decision was made by the City Council to put stamped concrete in the park strips. It was also determined not to put decorative lights in since UDOT will be installing tall cobra head lights.

In addition to landscaping costs, the City will be making a significant investment in water and sewer upgrades on this road.

Recommendation

No action required tonight, but staff is recommending that the total landscaping investment not exceed $50,000.

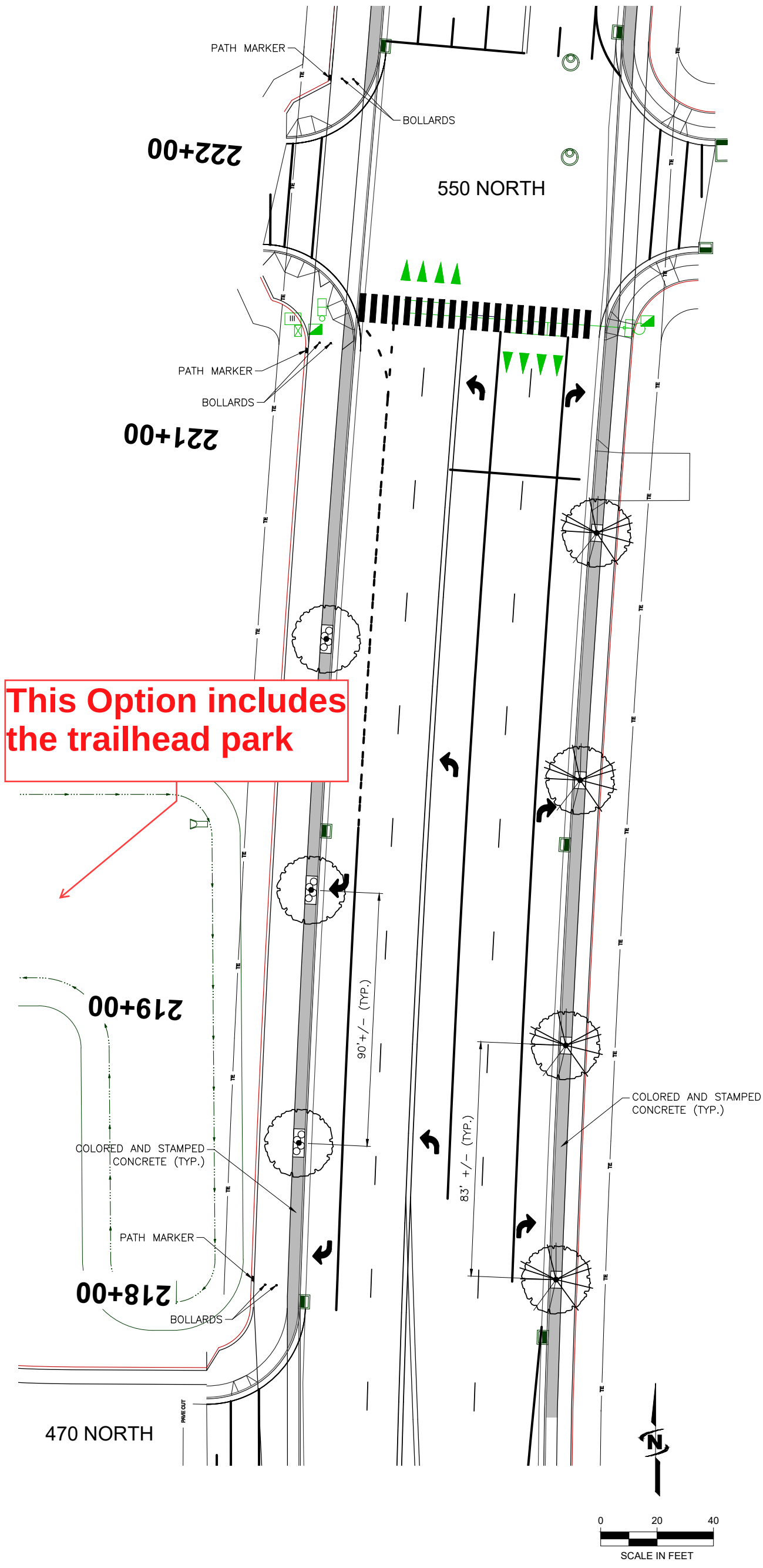
Significant Impacts

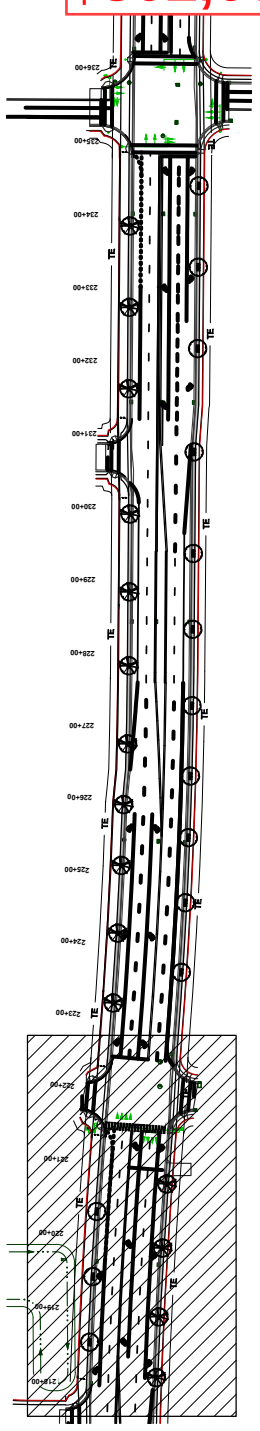
None

Attachments

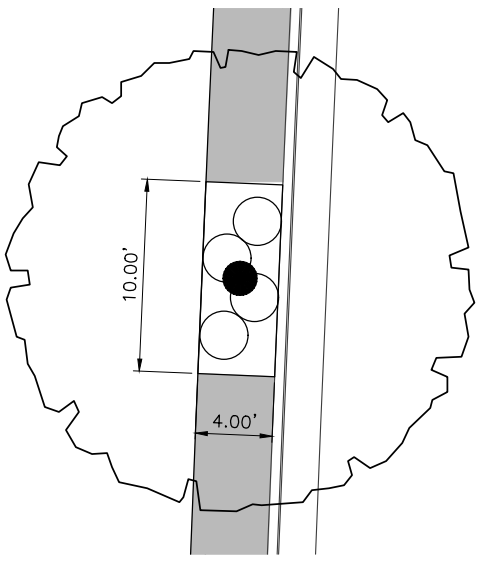
Landscaping Options

Option 1
$302,000

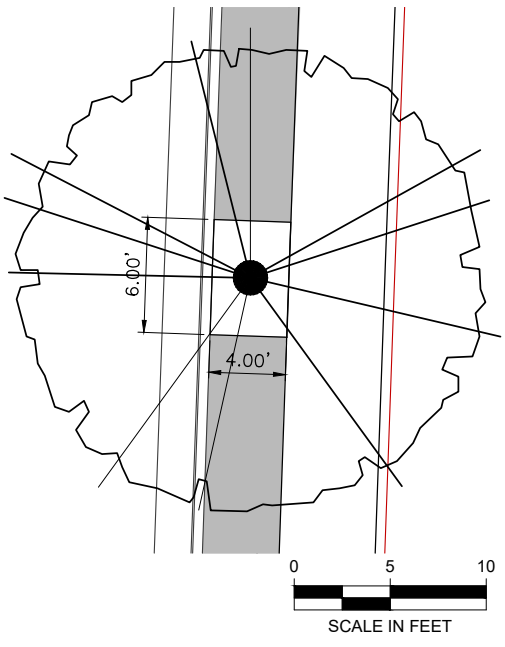




AT GRADE PLANTER TYP. LAYOUT



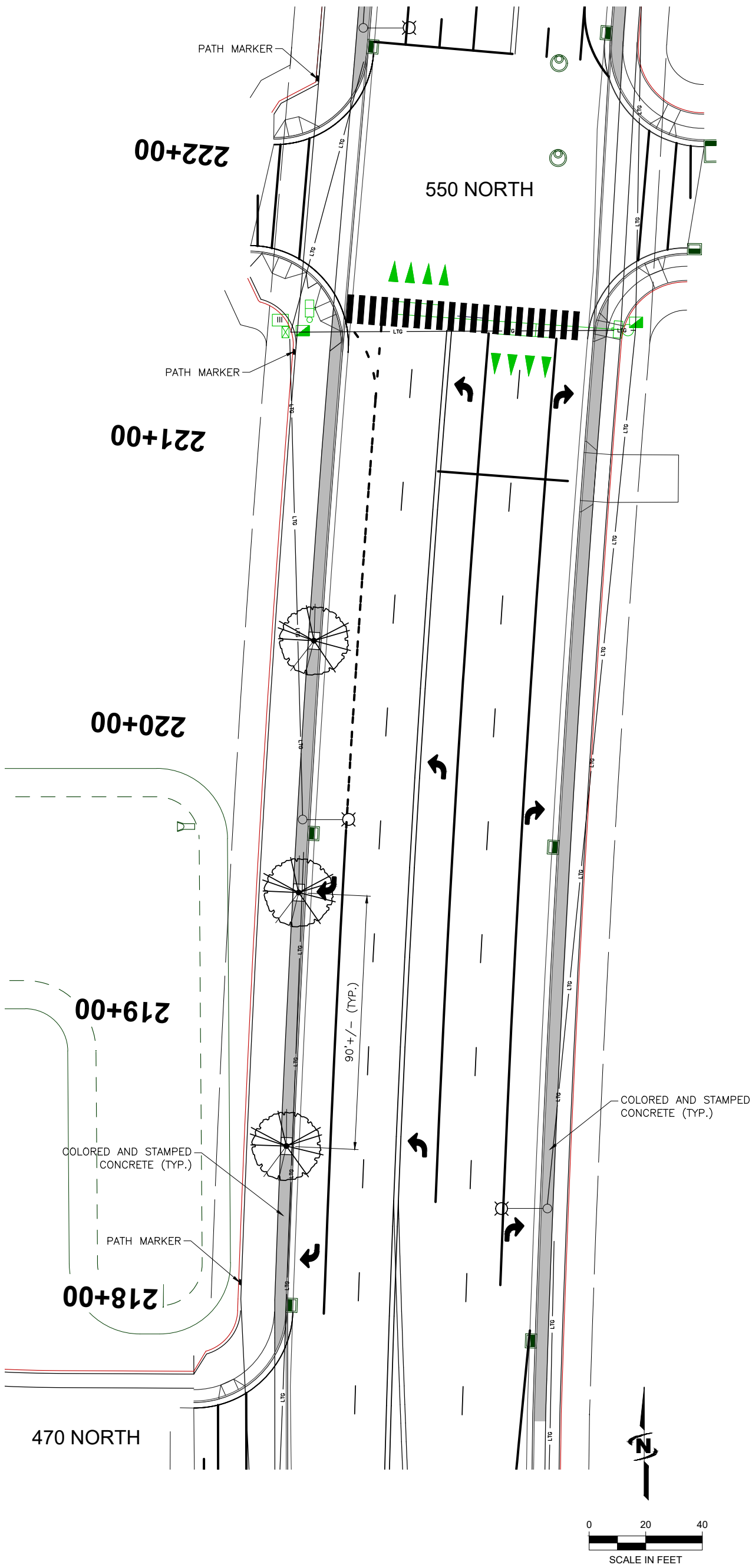
TREE GRATE TYP. LAYOUT

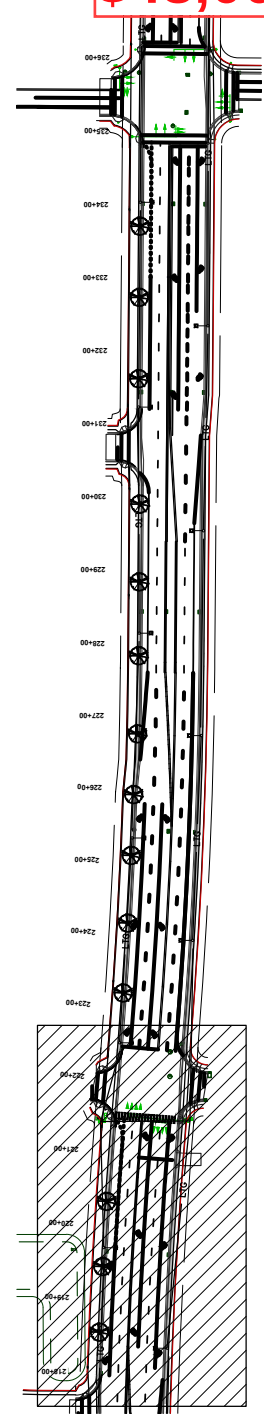


SR-108 WIDENING PROJECT
LANDSCAPE IMPROVEMENTS
CONCEPTUAL LAYOUT (470 NORTH TO 800 NORTH)

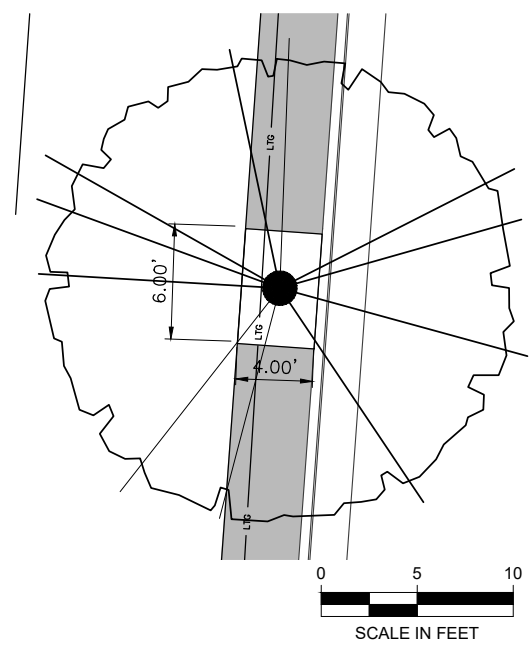
J-U-B ENGINEERS, INC.

Option 2
$48,000





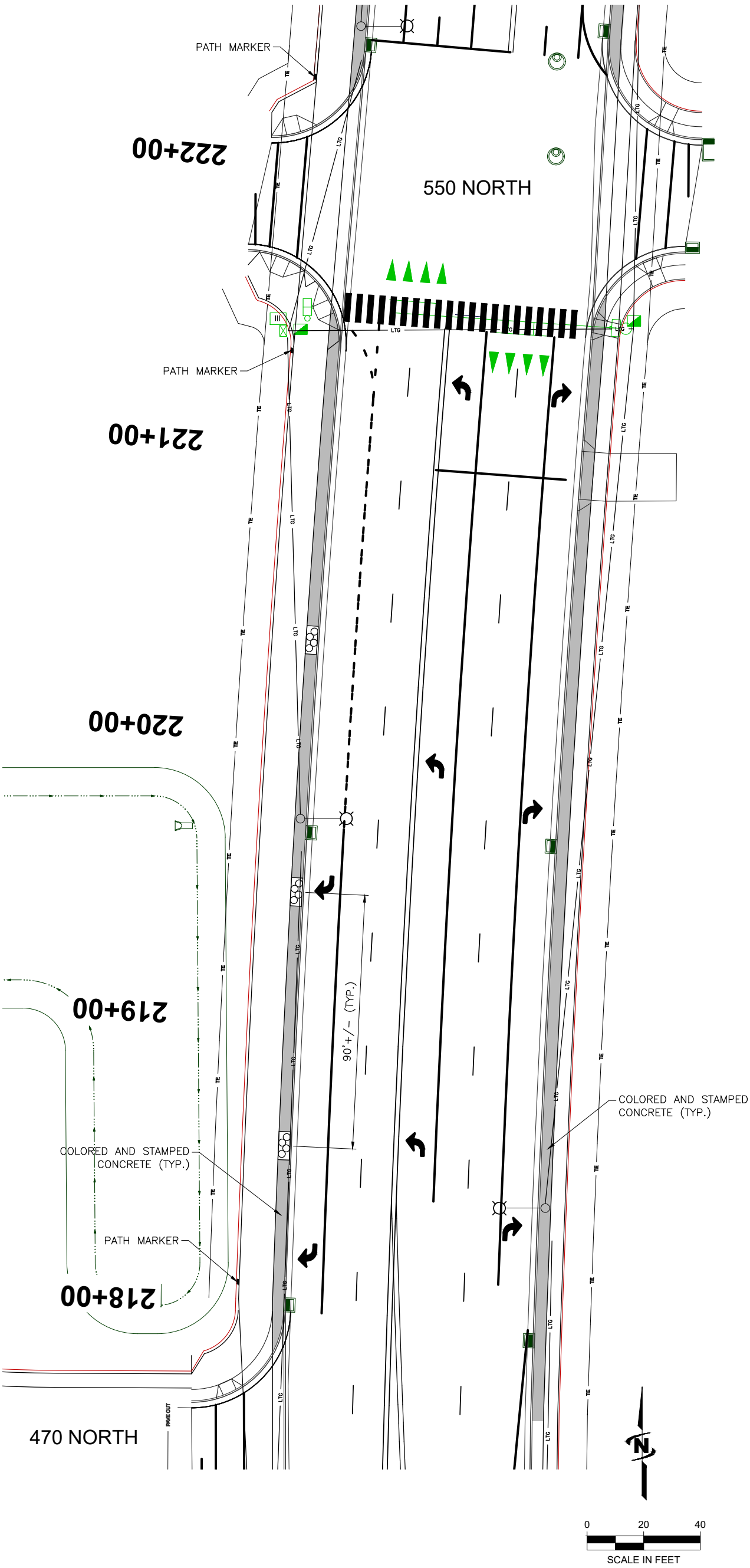
TREE GRATE TYP. LAYOUT

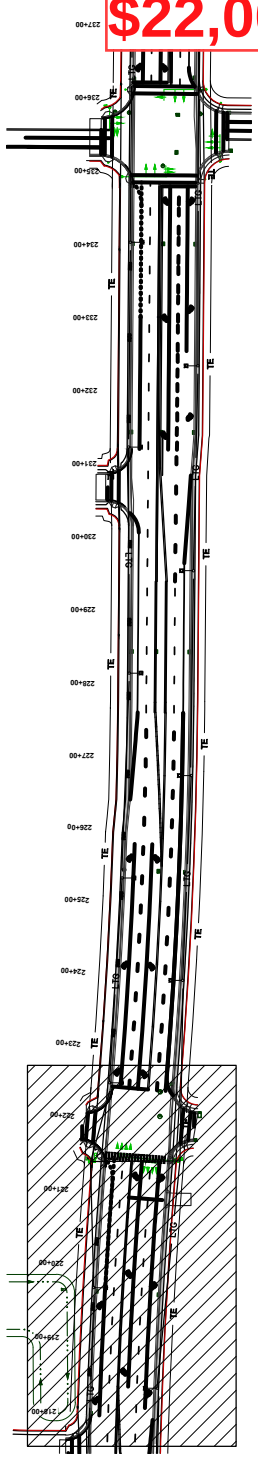


SR-108 WIDENING PROJECT
LANDSCAPE IMPROVEMENTS
CONCEPTUAL LAYOUT (470 NORTH TO 800 NORTH)

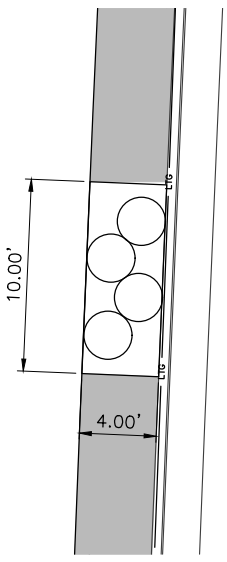
J-U-B ENGINEERS, INC.

Option 3
$22,000





AT GRADE PLANTER TYP. LAYOUT



0 5 10
SCALE IN FEET

SR-108 WIDENING PROJECT
LANDSCAPE IMPROVEMENTS
CONCEPTUAL LAYOUT (470 NORTH TO 800 NORTH)

J-U-B ENGINEERS, INC.

CITY COUNCIL STAFF REPORT

Subject: Drought Restrictions
Author: Boyd Davis
Department: Engineering
Meeting Date: April 19, 2022

Background

Staff recently attended a meeting at the Weber Basin Water Conservancy District where we were given an update on the drought conditions and restrictions on our culinary water system that will be put in place to conserve the limited water supply this year.

We have also been contacted by the Davis and Weber Counties Canal Company regarding restrictions on the secondary water system. They would like the City to prohibit new landscaping this year.

Staff would like to discuss the restrictions and any implications this may have.

Analysis

Culinary Water

According to Weber Basin, we are in an "extreme" drought condition with reservoirs currently at 45% capacity and will likely only reach 56% after this year's runoff. Based upon the amount of storage and the "extreme" drought designation, previously agreed upon restrictions have been triggered. These restrictions and the trigger levels are outlined in a document called the "Drought Contingency Plan" prepared by Weber Basin. That document shows that in the "extreme" condition the following reductions will be implemented:

	Reduction
Secondary Water	60%
Agriculture Water	40%
Culinary Water	10%

Weber Basin supplies all the culinary water to West Point City and our contract will be reduced by 10%. We currently have 700 AF contracted and that will be reduced to 623 AF. On a typical year we use between 550 to 600 AF. However, with severe restrictions on the secondary water we expect that our culinary water usage will increase as residents water lawns and gardens with culinary water. We have a real concern that we may exceed our contracted amount, which will result in penalties. Every Acre-ft over our contracted amount will be charged at 200% of the normal rate, or roughly $600 per AF.

With a real chance of exceeding our contract, we believe it would be wise to explore some other options for water supply. The City has a culinary water well that could be used to supplement the supply. The well is in good working order, is flushed weekly, and tested regularly so that it is ready to go, however, we need to research any regulations that may need to be addressed prior to use. Additionally, the City owns several water

shares that could be converted to culinary water, but there is a process to make that happen, plus the fees for treating and delivering the water. We believe that both options should be explored.

Another item regarding culinary water is the splash pad and Loy Blake Park. The splash pad uses culinary water and could add to the problem. Weber Basin considers this outdoor water, and it is subject to a 60% reduction. Even at that, it is probably not wise to operate the splash pad this year. Staff would like direction from the Council.

Secondary Water

The Davis and Weber Counties Canal Company, who owns and operates the secondary water system in West Point City, has also announced restrictions this year as follows:

- Delayed start to May 2nd
- Limited to one day per week until Memorial Day
- Limited to two days per week from Memorial Day to Labor Day
- Limited to one day per week after Labor Day until the end of the season
- They do not recommend new landscaping

D&W has asked the City to consider prohibiting landscaping, but regardless even new landscaping will be subject to the restrictions which would make it difficult to install new sod. Staff will be meeting with D&W to discuss possible exceptions for park spaces.

Recommendation

No action required. However, Staff would like direction from the Council regarding new landscaping. Staff would recommend that new landscaping not be required and possibly prohibited. Staff also recommends that the splash pad not be turned on this year.

Significant Impacts

None

Attachments

None

CITY COUNCIL STAFF REPORT

Subject: Dry Sewer Line Ordinance
Author: Boyd Davis
Department: Engineering
Meeting Date: April 19, 2022

Background
The Planning Commission recently approved the "Dry Sewer Line" ordinance that would require any developments in the future annexation area to install sewer lines and laterals to each home. These lines would not be used until the future sewer system is constructed and would thus be "dry" until they are connected to the future system. It is now the City Council's turn to review and discuss this ordinance.

Analysis
The following code change was approved by the Planning Commission:

> **17.130.100**C. Sewage Disposal. Where ~~a public sanitary sewer is~~ a subdivision is within 300 feet of a public sanitary sewer ~~to require a connection~~, the subdivider shall connect with such sanitary sewer and provide adequate lateral lines to the property line of each lot. Such sewer connections and subdivision sewer systems shall comply with the regulations of the city and the sewer district and shall be approved by the city. Sanitary sewer pipelines including laterals to the property line must be laid with approval of the sewer district and must be compatible with the existing system. The said sanitary sewer must be installed within the development prior to the installation of any other improvements. The city engineer must approve all plans for sanitary sewer extensions prior to issuing a building permit.
>
> Developments within the service area created by the Sewer Impact Fee Facilities Plan and Impact Fee Analysis (adopted by ordinance 12-7-2021A), shall be required to install project sewer pipelines and laterals to each lot within the development. The sewer pipelines shall connect to the system sewer lines shown in the Impact Fee Facilities Plan. If the system sewer lines are not available at the time of development the developer shall be required to install the project sewer lines and laterals as dry lines for future connection. The depth of the dry lines shall be determined by the City Engineer.

Recommendation
No action required, this is for discussion only.

Significant Impacts

None

Attachments

None

CITY COUNCIL STAFF REPORT

Subject: Discussion on Commercial Design Standards
Author: Bryn MacDonald
Department: Community Development
Date: April 19, 2022

Background

The previous West Point City Code had architectural standards for buildings in commercial zones. During the process of adopting the new code last year, these standards were removed. The proposed text change is to add the language back to the commercial zones.

Analysis

Prior to the adoption of the new code last year, there were sections that required a "minimum of 50 percent brick or stone" in the N-C (Neighborhood Commercial) zone to be used on all new buildings. There was also a minimum masonry calculation to be used on all new buildings within the R-C (Regional Commercial) and C-C (Community Commercial) zones.

The proposed language will read as follows:

17.60.140(C)(3)

c. All building facades that face public streets shall have windows along at least 25 percent of their horizontal length. If 25 percent actual windows is not feasible because of the nature of the use of the building facade, then the remainder of such walls shall include false windows, either glazing or pattern, and defined by frames, sills, and lintels, or similarly proportioned features.

d. Exterior walls of buildings in the N-C zone shall be constructed with a minimum of 50 percent brick or stone. The balance of the exterior wall area shall consist of brick, stone, glass, decorative integrally colored block, or stucco. All building materials shall be high quality, durable, and low maintenance. Roofs shall be hipped or gabled with a minimum six to 12 pitch. Any exception or changes to roof standards shall be made with a conditional use permit.

e. In the R-C and C-C zones masonry will be required on the exterior of all developments. The minimum area of masonry required will be determined by multiplying the outside perimeter of the building by four feet. The masonry used can be as a wainscot around the periphery of the building or a higher percentage at the main entrance(s). Corner lots and lots on arterial or collector streets are required to use the majority of the masonry on the front and sides of the building facing the street(s).

f. The exterior walls of all buildings shall be properly maintained (no peeling paint, loose bricks, broken stucco, etc.) by the owners.

g. Alternative materials may be approved by the community development director if it can be shown that the finished product shall result in a highly durable surface that enhances the building.

Recommendation

This item is on for discussion only. A public hearing will be held at the next meeting prior to a decision being made.

Significant Impacts

None

Attachments

Draft ordinance

CITY COUNCIL STAFF REPORT

Subject: Discussion on Second Access for Over 30 lots
Author: Bryn MacDonald
Department: Community Development
Date: April 19, 2022

Background

West Point City Code requires developments to be limited to a maximum number of lots on a single access. Currently the code requires no more than 50 lots per access. This standard differs from the previous code. Prior to the recent code changes the limit was set to 30 lots per access. This seems to be a mistake when the code was codified last year and should be changed back to the original standard of 30 lots per access.

Analysis

The proposed language will read as follows:

> 17.130.090(E)(7) Developments over 30 lots shall be done in phases. A phase shall consist of no more than 30 lots unless specifically approved by the city. Each phase must be completed with both on- and off-site improvements within two years. The city shall not approve more than ~~50~~ 30 lots in a development or single phase without requiring the construction of a second access road that connects to an existing public street.

Recommendation

This item is on for discussion only. A public hearing will be held at the next meeting prior to a decision being made.

Significant Impacts

None

CITY COUNCIL STAFF REPORT

Subject: Compton Annexation Petition
Author: Kyle Laws
Department: Executive
Meeting Date: April 19, 2022

Background

On March 2, 2022, the Boundary Commission of Davis County met to consider the protests submitted in response to the "Terraform Annexation Petition" submitted to West Point City jointly by the Terraform entity and the Parker Family. This petition included over 400 acres, covering an area north from 1800 N to the Weber County line and east to the Clinton City boundary, and all the way west to roughly 6000 W. At the conclusion of the Boundary Commission meeting, the Commission chose to disapprove the Terraform Petition, stating ambiguity in the State Statute. The Commission's attached written statement dated March 14, 2022 details their reasons for disapproving the annexation. It is important to also note that Clinton City protested the annexation and would like to continue conversations regarding our shared future boundary. While this is a topic for discussion at some point in the future, it is helpful to understand the background and denial of the Terraform Petition, as a portion of the proposed area in that petition is now the subject of a new annexation petition that has been submitted to the City.

On March 30, 2022, the "Compton Annexation Petition" was submitted to the City by the same Terraform entity. The Compton Petition is located at approximately 1800 N 4300 W and consists of only two parcels, totaling 19.66 acres. The Terraform entity owns one of the properties, and the second property to the west will provide them access to the 4500 W road.
In accordance with UCA § 10-2-405, at the first city council meeting that is at least 14 days after a petition is filed, the petition must be placed on the agenda for the city council to either deny or accept for further consideration. As this is the City Council's first meeting more than 14 days after the Petition was filed, it is now on the agenda for consideration by the Council. The City has no obligation to accept the Petition for further consideration, even though the property is within the City's future annexation area, and can deny the Petition at this point. The Council can also accept the Petition for further consideration, which does not mean that the property is annexed or that it *will* be annexed – it only means that the Council is allowing the process to continue. However, if the Council fails to either accept or deny the Petition at this meeting, it is considered as accepted for further consideration.

Analysis

In reviewing Utah Code and City Code regarding annexations, the following sections pertain to the denial or acceptance of this particular Petition:

West Point City Section 18.25.020

> The provision of municipal services to this area will assure the city of the ability to protect the interests of its residents in maximizing the benefits of the economies of scale in the provision of municipal services and in minimizing the harmful impacts of conflicting uses of land that may be proposed or occur within the expansion area.

The area is currently served by Davis County, which provides road maintenance and police protection. The Hooper Water District provides secondary water services. Existing residents receive culinary water from Hooper Water District. The county is not in any position to provide culinary water or site-specific storm drainage services to the area. Providing water, sewer and storm drainage services to the expansion area would present no serious difficulty for West Point City. These facilities could be constructed when development occurs within the annexed areas.

These areas would be serviced by the North Davis Sewer Improvement District as annexation occurs.

New annexations should include areas in which services can be provided efficiently. The annexation should not create topographically isolated areas, areas for which the provision of services would be costly or difficult, or an area in which ground water runoff would create multi-jurisdictional problems. New annexations should include areas in which services can be provided efficiently.

Utah Code Section 10-2-402

10-2-402. Annexation -- Limitations.

(1)

(a) A contiguous, unincorporated area that is contiguous to a municipality may be annexed to the municipality as provided in this part.

(b) Except as provided in Subsection (1)(c), an unincorporated area may not be annexed to a municipality unless:

(i) it is a contiguous area;

(ii) it is contiguous to the municipality;

(iii) annexation will not leave or create an unincorporated island or unincorporated peninsula:

(A) except as provided in Subsection 10-2-418(3) or (4); or

(B) unless the county and municipality have otherwise agreed; and

(iv) for an area located in a specified county with respect to an annexation that occurs after December 31, 2002, the area is within the proposed annexing municipality's expansion area.

(c) A municipality may annex an unincorporated area within a specified county that does not meet the requirements of Subsection (1)(b), leaving or creating an unincorporated island or unincorporated peninsula, if:

(i) the area is within the annexing municipality's expansion area;

(ii) the specified county in which the area is located and the annexing municipality agree to the annexation;

(iii) the area is not within the area of another municipality's annexation policy plan, unless the other municipality agrees to the annexation; and

(iv) the annexation is for the purpose of providing municipal services to the area.

While it is possible for the Council to be justified in approving the Compton Petition for further consideration, it is my opinion that this would not be a good decision for West Point and our ability to annex future parcels into the City. In fact, I would even consider it bad public policy for us to allow it to move forward. My reasoning for this is that if we allow this isolated area to annex, and exclude the neighboring parcels, we may be eliminating any future possibility of these other parcels annexing into the City, without creating unincorporated islands and peninsulas. As can be seen on the attached Petition

map, if the Compton Petition is approved, it is unlikely that any of the parcels east of 4500 W will ever annex into the City. There are too many small parcels for an annexation to happen, especially if the large parcel that is part of the Compton Petition was not available to help meet the required acreage and value thresholds required to annex a large area of small parcels because it had already been annexed...

Staff is pushing for the State Legislature to fix the problem in the statute. We have been told that this will be the highest priority of the Land Use Task Force this spring and summer and that a modification of the Statute will be included in a special Legislative Session this year. I believe it is in our best interest to wait for new legislation and then to ask the petitioners to resubmit their original petition that included the much larger area. This idea has been discussed with officials of the County and they are in agreeance that this would be the best course of action.

Recommendation

Staff's recommendation, specifically my recommendation as the City Manager, is to deny the Compton Petition for further consideration. It is my opinion that allowing this petition to move forward and potentially annex such a small and limited land area is bad public policy. I believe that if this parcel annexes that we will never see an annexation that includes the surrounding parcels, and I do not believe that the City wants to consider or allow annexations to occur one or two parcels at a time. I will add to my recommendation that the City Council wait for the State Statute to be updated and fixed and encourage the former annexation petition of 400 plus acres to be resubmitted.

Significant Impacts

None

Attachments

Parcel Area Map
Annexation Petition
Davis County Boundary Commission decision on previous Terraform Annexation Petition

dotloop signature verification: dtlp.us/jcff-HJrV-Jpt8

RECEIVED
MAR 30 2022
BY:

WEST POINT CITY
3200 W 300 N
West Point, UT 84015
801.776.0970

ANNEXATION PETITION

(Submit to City Recorder's Office)

PETITION TITLE: Compton Annexation

PROPERTY LOCATION: 1800 N 4300 W, West Point, UT **ACREAGE:** 19.66 Acres

AFFECTED PROPERTY OWNER NAMES *(within Annexation Area)*:	**AFFECTED PARCEL ID#:**
Foothill Ditch LLC	140380067
Jerry Harward	141750005

Attach additional sheet as needed

MAIN CONTACT PERSON:

(It is the Main Contact's responsibility to notify/inform other property owners of any notifications or information received regarding this Annexation Petition)

Name: Joshua Davis Phone: 801-687-8089

Mailing Address: 2901 W Bluegrass Blvd Unit 200 City: Lehi

State: UT Zip: 84043 Email: joshd@landd.live

INCLUDE WITH THIS PETITION (in accordance with UCA §10-2-403):

1. A copy of the Notice of Intent to File an Annexation Petition sent to affected entities as required, the date the notice was sent, and a list of the affected entities to which notice was sent.
2. Signature page(s) (**must include the required statement**) of property owners that are within the proposed annexation area.
3. One 24" x 36" accurate and recordable (mylar) map, prepared by a licensed surveyor, of the area proposed for annexation. Mylar copy must be stamped by the surveyor and meet the requirements of UCA§ 17-23-20(4).
4. Four 11" x 17" paper copies of the map prepared by the licensed surveyor.
5. Electronic copy of prepared map sent to carnold@westpointcity.org
6. A legal property description in word format sent to: carnold@westpointcity.org
7. On the date of filing with the City Recorder, deliver or mail a copy of petition (including paper copy of map) to Davis County Recorder

Signature of Applicant: Michael Hatch dotloop verified 03/25/22 12:13 PM MDT HFQJ-SEMR-5MTR-AYSN

3/30/22 CA
Date Submitted

Applicant Information *(If different than Main Contact):*

Name: Mike Hatch Phone: 801-836-3990

Mailing Address: 2901 W Bluegrass Blvd Unit 200 City: Lehi

State: UT Zip: 84043 Email: mikeh@landd.live

dotloop signature verification: dtlp.us/jcff-HJrV-Jpr8u

PETITION MAIN CONTACT PERSON: _____ **PHONE:** _____

OFFICIAL PROPERTY OWNER(S) SIGNATURE PAGE OF ANNEXATION PETITION

(This Official Signature Page may be duplicated as needed for circulation when obtaining signatures)

NOTICE TO PROPERTY OWNERS:

There will be no public election on the annexation proposed by this petition because Utah law does not provide for an annexation to be approved by voters at a public election.

If you sign this petition in favor of this proposed annexation and later decide that you do not support the petition, you may withdraw your signature by submitting a signed, written withdrawal with the West Point City Recorder.

If you choose to withdraw your signature, you shall do so no later than 30 days after West Point City receives notice that the petition has been certified.

PLEASE INDICATE YOUR POSITION ON THIS ANNEXATION REQUEST & PROVIDE SIGNATURE VERIFICATION.

IN FAVOR	NOT IN FAVOR	Signature	Name	Property Address or Parcel ID
☑	☐	Jerry Harward (dotloop verified 01/20/22 2:28 PM EST BTQX-UCL5-AUPA-ARTN)	Jerry Harward	141750005
☐	☐			
☐	☐			
☐	☐			
☐	☐			

dotloop signature verification: dtlp.us/jcff-HJrV-jpt8tuC

PETITION MAIN CONTACT PERSON: _____ **PHONE:** _____

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IN FAVOR	NOT IN FAVOR	Signature	Name	Property Address or Parcel ID
☑	☐	Michael Hatch (dotloop verified 01/26/22 11:07 AM MST SNLZ-JCUF-HIQQ-AHSP)	Mike Hatch - Foothill Ditch LLC Owner	140380067
☐	☐			
☐	☐			
☐	☐			
☐	☐			

THENCE N.89°59'00"W. A DISTANCE OF 1427.46 FEET ALONG THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 392199) TO A POINT ON THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 2237819);
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CONTAINING 19.66 ACRES

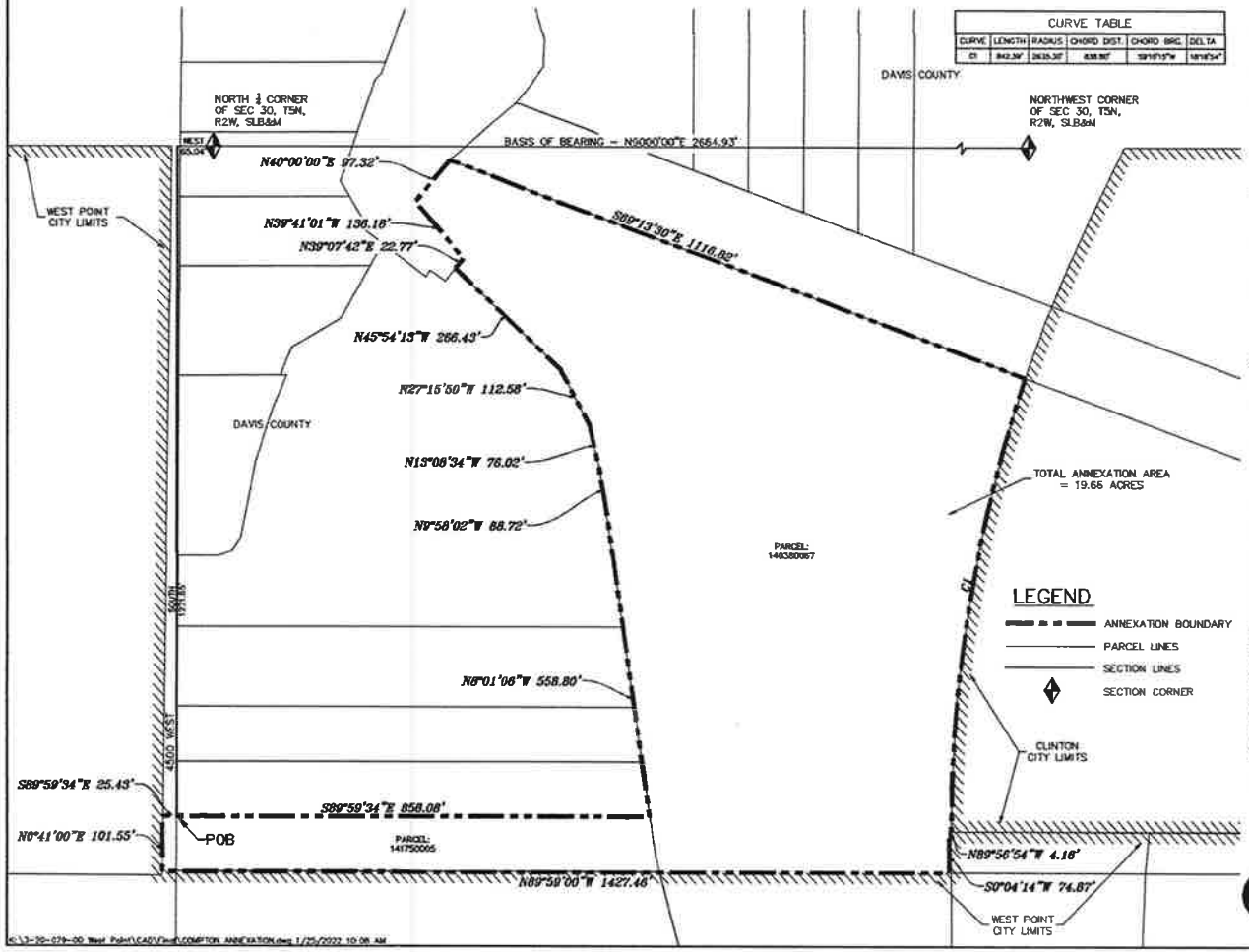
(BASIS OF BEARING = N.90°00'00"E. 2664.93 FEET BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHEAST CORNER OF SECTION 19, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, FROM THE DAVIS COUNTY SURVEY TOWNSHIP REFERENCE PLAT, ENTRY NO. 311274)

Attached is a map showing the location of the annexation area.

COMPTON ANNEXATION
A PLAT OF ADDITION TO THE CORPORATE LIMITS OF WEST POINT CITY

A PART OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN.

(24"x36") SCALE 1" = 100'
(11"x17") SCALE 1" = 200'



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	842.39'	2635.30'	838.80'	S9°10'15"W	18°18'54"

SURVEYOR'S CERTIFICATE

I, KENNETH BARNEY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, LICENSE NO. 172762 , DO HEREBY CERTIFY THAT THIS PLAT OF ADDITION TO THE CORPORATE LIMITS OF WEST POINT CITY, DAVIS COUNTY, UTAH, HAS BEEN DRAWN TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF DATA COMPILED FROM A SURVEY MADE BY ME AND FROM RECORDS ON FILE IN THE DAVIS COUNTY RECORDER'S OFFICE.

SIGNED THIS_____DAY OF_____20__.

KENNETH BARNEY

WEST POINT CITY ACCEPTANCE

I HEREBY CERTIFY THAT THIS PLAT OF ADDITION TO THE CORPORATE LIMITS OF WEST POINT CITY WAS ACCEPTED BY THE MAYOR NO THE CITY COUNCIL OF WEST POINT CITY, DAVIS COUNTY, UTAH.

IN WITNESS WHEREOF I HEREUNTO SET MY HAND AND AFFIX THE CORPORATE SEAL OF WEST POINT CITY.

APPROVED THIS_____DAY OF_____20__.

MAYOR

ATTEST

DAVIS COUNTY SURVEYOR

I HEREBY CERTIFY THAT I HAVE CAREFULLY INVESTIGATED THE LINES OF SURVEY OF THE FOREGOING ANNEXATION PLAT AND LEGAL DESCRIPTION OF THE LAND EMBRACED THEREIN, AND FIND THEM TO BE CORRECT AND TO AGREE WITH THE LINES AND MONUMENTS ON RECORD IN THIS OFFICE.

SIGNED THIS_____DAY OF_____20__.

SIGNATURE

BOUNDARY DESCRIPTION

BEGINNING AT POINT WHICH IS WEST A DISTANCE OF 65.04 FEET AND SOUTH A DISTANCE OF 1221.65 FEET FROM THE NORTH QUARTER CORNER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 5 OF THE DAVIS FARMS WEST NO. 2 RECORDED PLAT.

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Northern ENGINEERING INC
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT
1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

COUNTY RECORDER

ENTRY NUMBER_____
FEE PAID_____
RECORDED_____20__
TIME RECORDED_____
BOOK_____PAGE_____
RECORDED FOR WEST POINT CITY

DAVIS COUNTY RECORDER

DEPUTY

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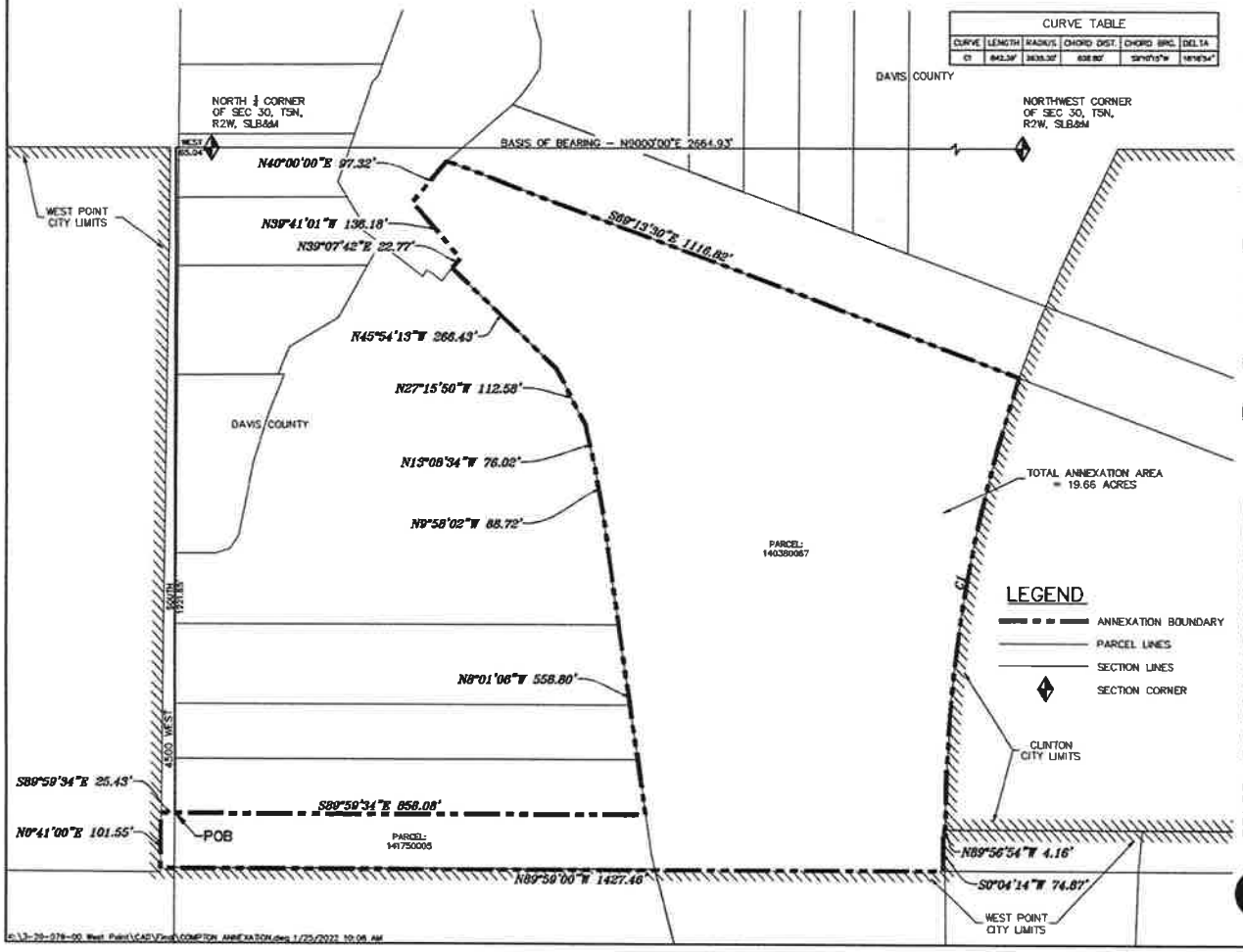

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KENNETH BARNEY

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WEST POINT CITY, UTAH

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THENCE S.89°59'34"E. A DISTANCE OF 25.43 FEET TO THE POINT OF BEGINNING.
CONTAINING 19.66 ACRES

(BASIS OF BEARING = N.90°00'00"E. 2664.93 FEET BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHEAST CORNER OF SECTION 19, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, FROM THE DAVIS COUNTY SURVEY TOWNSHIP REFERENCE PLAT, ENTRY NO. 311274)

Annexation Affected Entity Mailing List

i. **Davis County Clerk Auditor Office**: 61 S Main St, Farmington, UT 84025

ii. **Not Applicable**

iii. **North Davis Fire District**: 381 N 3150 W, West Point, UT 84015
North Davis Sewer District: 4252 W 2200 S, Syracuse, UT 84075
Mosquito Abatement District Davis: 85 N 600 W, Kaysville, UT 84037
Hooper Water Improvement District: 5555 W 5500 S, Hooper, UT 84315
Wasatch Integrated Waste Management: 1997 E 3500 N, Layton, UT 84040
Weber Basin Water Conservancy District: 2837 UT-193, Layton, UT 84040

iv. **Davis School District**: 45 E State St, Farmington, UT 84025

v. **West Point City**: 3200 W 300 N, West Point, UT 84015
Clinton City: 2267 N 1500 W, Clinton, UT 84015
Hooper City: 5580 W 4600 S, Hooper, UT 84315

TERRAFORM DEVELOPMENT, LLC
Contact: Josh Davis
Phone: (801) 687-8089

NOTICE OF INTENT TO ANNEX

On March 3, 2022, Terraform Development, LLC indicates its intent to petition to annex the following described real property into West Point, UT:

COMPTON ANNEXATION

WEST POINT CITY, UTAH

Legal Description:

BEGINNING AT POINT WHICH IS WEST A DISTANCE OF 65.04 FEET AND SOUTH A DISTANCE OF 1221.65 FEET FROM THE NORTH QUARTER CORNER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 5 OF THE DAVIS FARMS WEST NO. 2 RECORDED PLAT.

RUNNING THENCE S.89°59'34"E. A DISTANCE OF 858.08 FEET ALONG THE NORTH LOT LINE OF SAID LOT 5;
THENCE (5) COURSES ALONG THE EAST BOUNDARY OF THE DAVIS FARMS WEST NO. 2 RECORDED PLAT: N.8°01'06"W. A DISTANCE OF 558.80 FEET; N.9°58'02"W. A DISTANCE OF 88.72 FEET; N.13°08'34"W. A DISTANCE OF 76.02 FEET; N.27°15'50"W. A DISTANCE OF 112.58 FEET; AND N.45°54'13"W. A DISTANCE OF 266.43 FEET;
THENCE N.39°07'42"E. A DISTANCE OF 22.77 FEET;
THENCE N.39°41'01"W. A DISTANCE OF 136.18 FEET;
THENCE N.40°00'00"E. A DISTANCE OF 97.32 FEET;
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COMPTON ANNEXATION
A PLAT OF ADDITION TO THE CORPORATE LIMITS OF WEST POINT CITY

A PART OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN.

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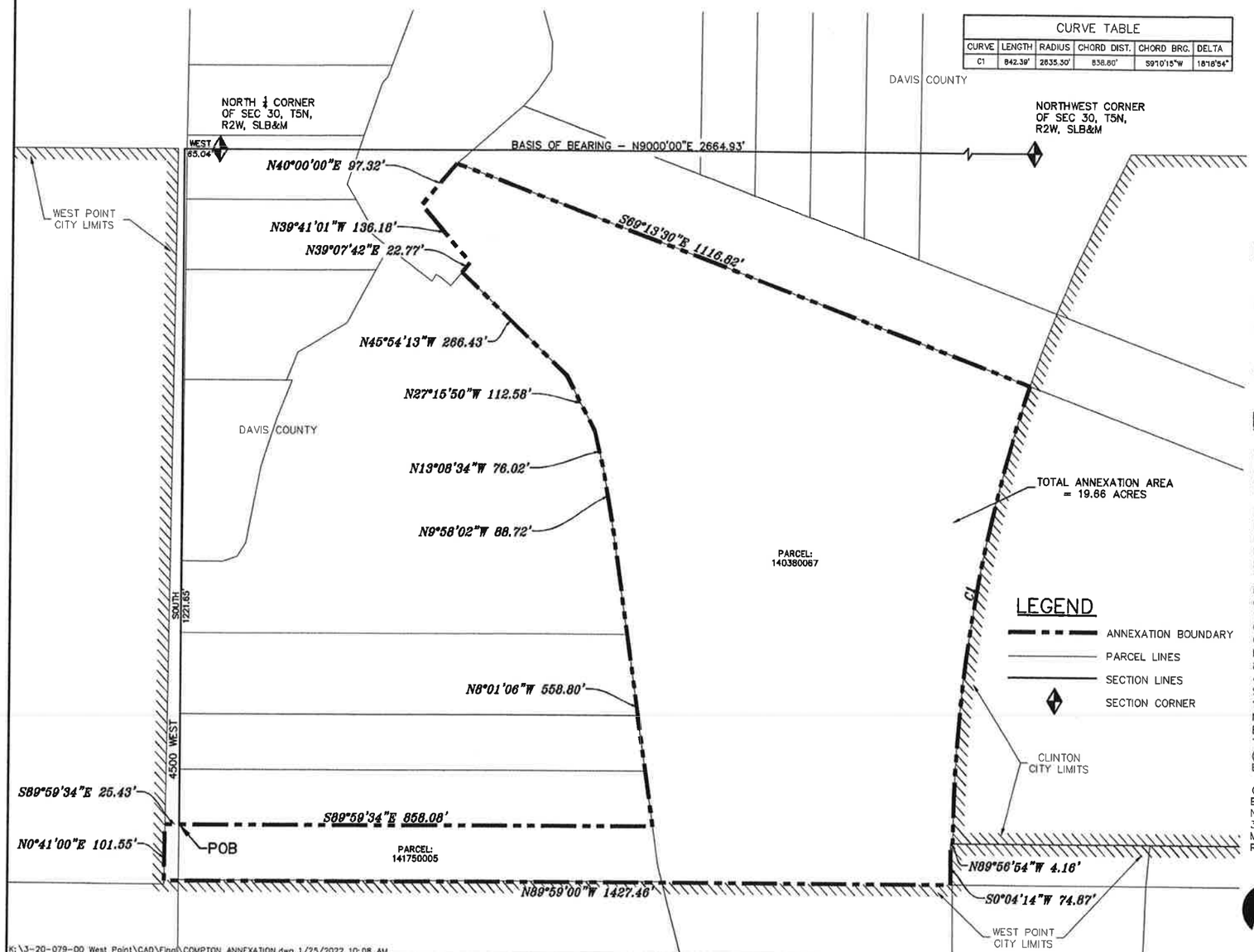

CURVE TABLE					
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LEGEND

- ANNEXATION BOUNDARY
- PARCEL LINES
- SECTION LINES
- SECTION CORNER

SURVEYOR'S CERTIFICATE

I, KENNETH BARNEY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, LICENSE NO. 172762 , DO HEREBY CERTIFY THAT THIS PLAT OF ADDITION TO THE CORPORATE LIMITS OF WEST POINT CITY, DAVIS COUNTY, UTAH, HAS BEEN DRAWN TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF DATA COMPILED FROM A SURVEY MADE BY ME AND FROM RECORDS ON FILE IN THE DAVIS COUNTY RECORDER'S OFFICE.

SIGNED THIS_____DAY OF_____20__.

KENNETH BARNEY

WEST POINT CITY ACCEPTANCE

I HEREBY CERTIFY THAT THIS PLAT OF ADDITION TO THE CORPORATE LIMITS OF WEST POINT CITY WAS ACCEPTED BY THE MAYOR ND THE CITY COUNCIL OF WEST POINT CITY, DAVIS COUNTY, UTAH.

IN WITNESS WHEREOF I HEREUNTO SET MY HAND AND AFFIX THE CORPORATE SEAL OF WEST POINT CITY.

APPROVED THIS_____DAY OF_____20__.

MAYOR

ATTEST

DAVIS COUNTY SURVEYOR

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Northern ENGINEERING INC
ENGINEERING–LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

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A PART OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN.

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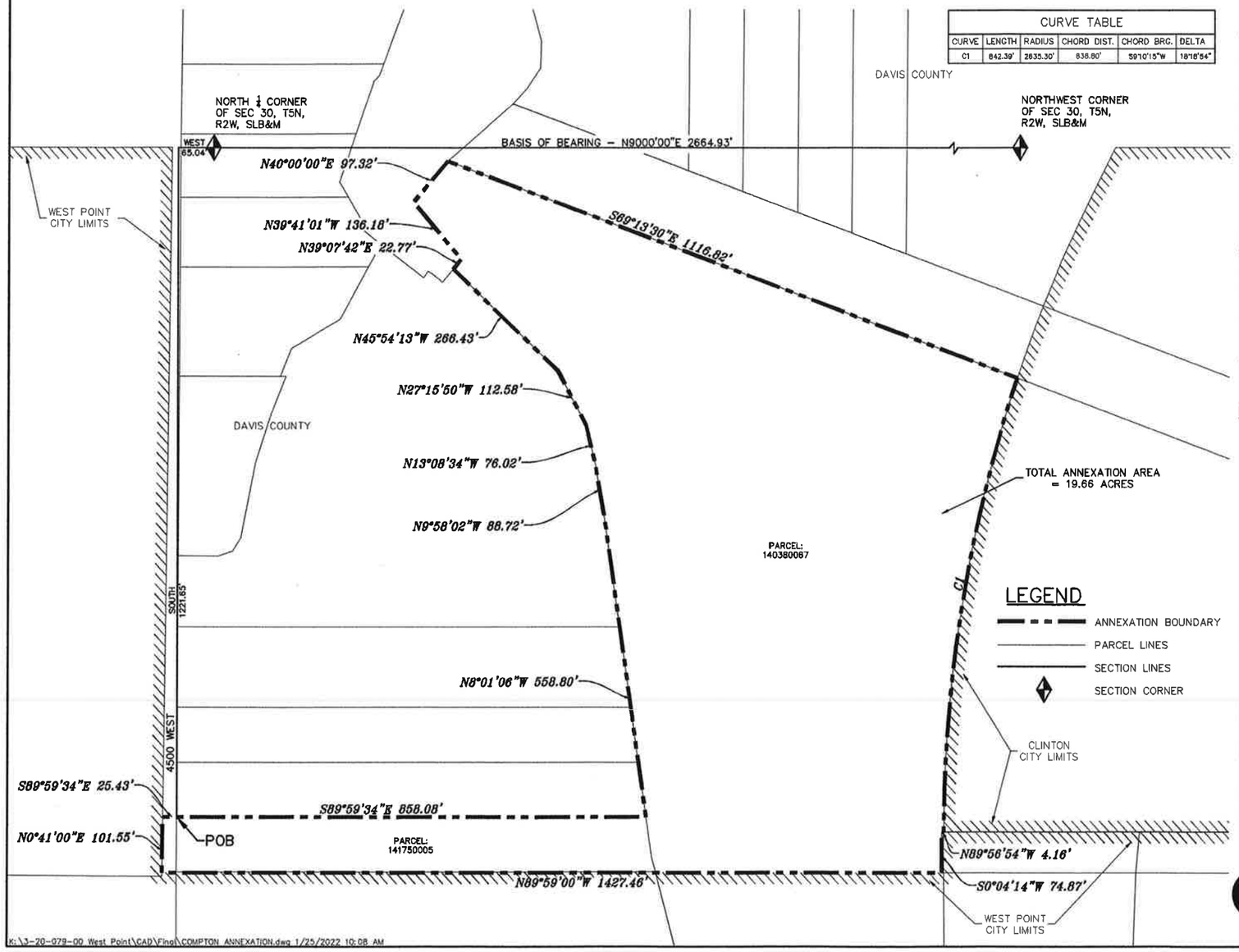

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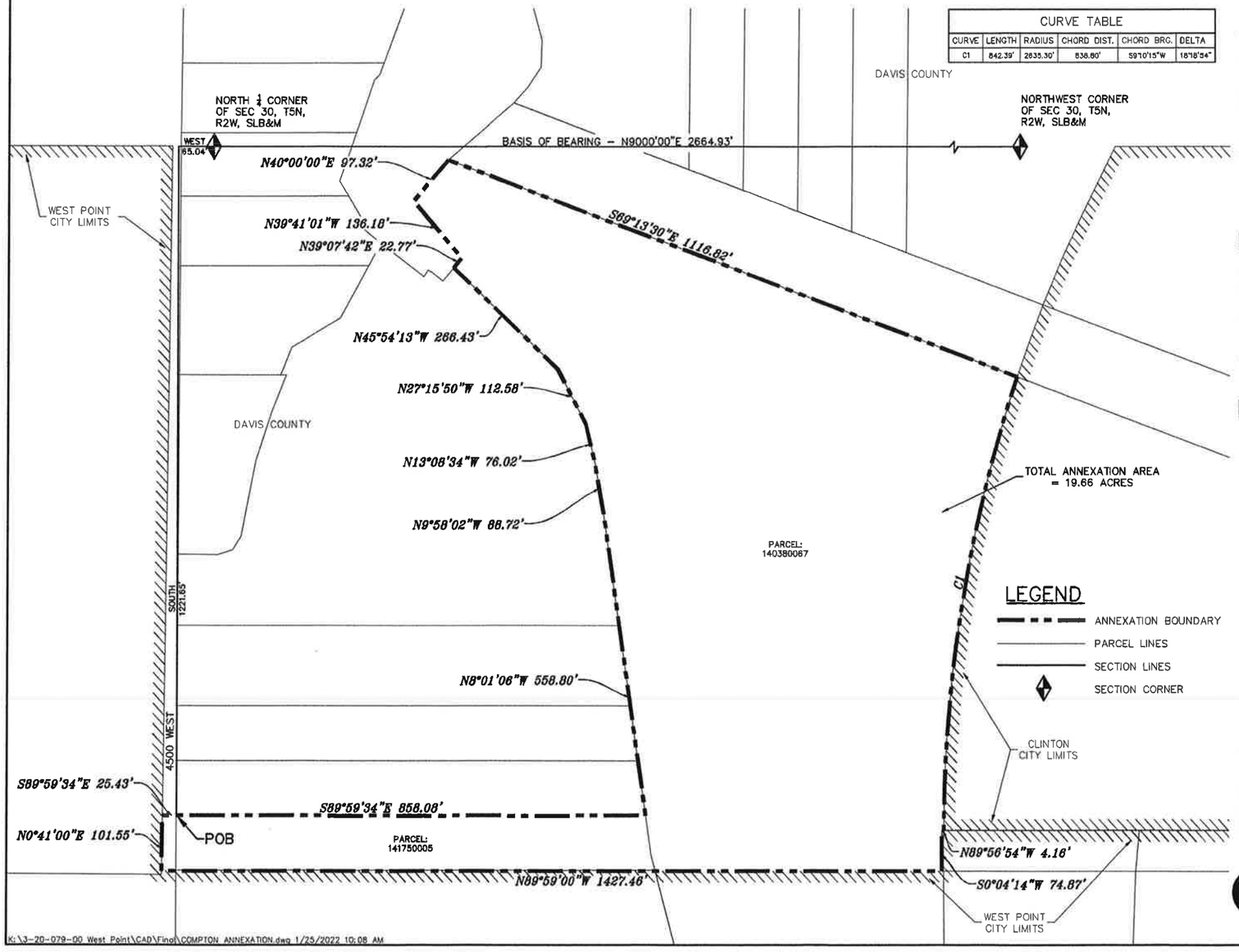

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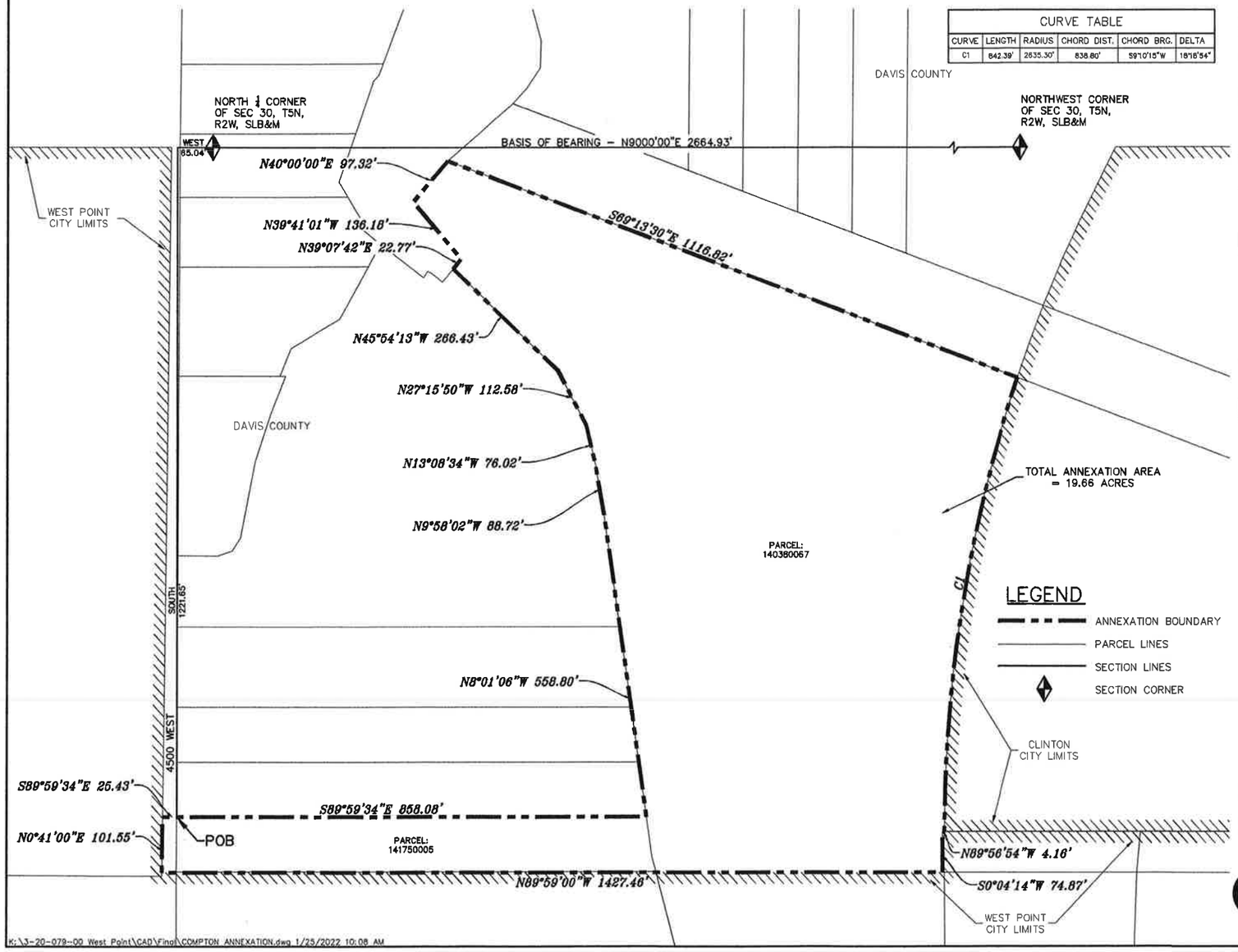

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BOUNDARY DESCRIPTION

BEGINNING AT POINT WHICH IS WEST A DISTANCE OF 65.04 FEET AND SOUTH A DISTANCE OF 1221.65 FEET FROM THE NORTH QUARTER CORNER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 5 OF THE DAVIS FARMS WEST NO. 2 RECORDED PLAT.

RUNNING THENCE S.89°59'34"E. A DISTANCE OF 858.08 FEET ALONG THE NORTH LOT LINE OF SAID LOT 5; THENCE (5) COURSES ALONG THE EAST BOUNDARY OF THE DAVIS FARMS WEST NO. 2 RECORDED PLAT: N.8°01'06"W. A DISTANCE OF 558.80 FEET; N.9°58'02"W. A DISTANCE OF 88.72 FEET; N.13°08'34"W. A DISTANCE OF 76.02 FEET; N.27°15'50"W. A DISTANCE OF 112.58 FEET; AND N.45°54'13"W. A DISTANCE OF 266.43 FEET; THENCE N.39°07'42"E. A DISTANCE OF 22.77 FEET; THENCE N.39°41'01"W. A DISTANCE OF 136.18 FEET; THENCE N.40°00'00"E. A DISTANCE OF 97.32 FEET; THENCE S.69°13'30"E. A DISTANCE OF 1116.82 FEET ALONG THE SOUTH BOUNDARY OF THE COUNTY STORM DRAIN PARCEL TO A POINT ON THE CLINTON CITY LIMIT LINE (ANNEXATION ENTRY 1926334), ALSO BEING TO A POINT OF CURVATURE OF A 2635.30-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, AND ALONG THE CLINTON CITY LIMIT LINE (ANNEXATION ENTRY 1926334) A DISTANCE OF 842.39 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 18°18'54" AND A CHORD THAT BEARS S.9°10'15"W. A DISTANCE OF 838.80 FEET TO A POINT ON THE WEST POINT CITY LIMIT LINE; THENCE N.89°56'54"W. A DISTANCE OF 4.16 FEET ALONG THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 1724690); THENCE S.0°04'14"W. A DISTANCE OF 74.87 FEET ALONG THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 1724690) TO A POINT ON THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 392199); THENCE N.89°59'00"W. A DISTANCE OF 1427.46 FEET ALONG THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 392199) TO A POINT ON THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 2237819); THENCE N.0°41'00"E. A DISTANCE OF 101.55 FEET ALONG THE WEST POINT CITY LIMIT LINE (ANNEXATION ENTRY 2237819); THENCE S.89°59'34"E. A DISTANCE OF 25.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 19.66 ACRES
BASIS OF BEARING IS N.90°00'00"E 2664.93 FEET BETWEEN THE NORTH QUARTER CORNER AND NORTHEAST CORNER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, FROM THE DAVIS COUNTY SURVEY TOWNSHIP REFERENCE PLAT, ENTRY NO. 311274

Northern ENGINEERING INC
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

COUNTY RECORDER

ENTRY NUMBER_____
FEE PAID_____
RECORDED_____20__
TIME RECORDED_____
BOOK_____PAGE_____
RECORDED FOR WEST POINT CITY

_____
DAVIS COUNTY RECORDER

_____
DEPUTY

DAVIS COUNTY BOUNDARY COMMISSION

IN THE MATTER OF TERRAFORM PETITON TO ANNEX CERTAIN PROPERTY INTO THE WEST POINT CITY

On March 2nd, 2022, the Boundary Commission of Davis County met to decide the protests appropriately filed on a proposed annexation of property into West Point City. After hearing the presentations of the various parties to the protested annexation and after considering the relevant law the Boundary Commission unanimously decides and rules as follows.

BACKGROUND

On November 10, 2021, various property owners in unincorporated Davis County filed a petition to annex that property into West Point City. These property owners were represented by an entity called Terraform and the proposed annexation is generally referred to as the Terraform annexation petition.

The petition to annex was accepted by West Point City on November 24, 2021 and certified as being sufficient by the City on December 30, 2021. Pursuant to law a notice of the certified petition was posted and mailed inviting any protests to the annexation to be filed by January 31, 2022.

In response to the published notice of certification Clinton City and several property owners in the annexation area filed protests to the annexation. The role of the Boundary Commission under state law is to hear and decide these protests.

APPLICABLE LAW

Utah law allows affected entities and the owners of rural real property to protest an annexation petition. Affected entity is defined to include a city whose boundaries are within 1/2 mile of an area proposed for annexation (Utah Code Ann. § 10-2-401(1)(a)(v)). Rural real

property is defined to include property that is zoned for agricultural uses and has a density of less than one residential unit per acre (Utah Code Ann. § 17B-2a-1107).

If a protest is timely filed, the Boundary Commission is convened to hear and decide according to provisions of state law each protest filed. Pursuant to Under Utah Code Ann. § 10-2-415(8), the Boundary Commission considers whether the proposed annexation:

> (a) complies with the requirements of Sections 10-2-402 and 10-2-403 and the annexation policy plan of the proposed annexing municipality;
> (b) conflicts with the annexation policy plan of another municipality; and
> (c) if the proposed annexation includes urban development, will have an adverse tax consequence on the remaining unincorporated area of the county.

Utah Code Ann. § 10-2-402(1)(b) provides, in part, that: "[e]xcept as provided in Subsection (1)(c), an unincorporated area may not be annexed to a municipality unless: (i) the unincorporated area is a contiguous area; (ii) the unincorporated area is contiguous to the municipality; (iii) annexation will not leave or create an unincorporated island or unincorporated peninsula: (A) except as provided in Subsection 10-2-418(3); or (B) unless the county and municipality have otherwise agreed; …." Section (1)(c) states that the standards set out in § 10-2-402(1)(b) prohibiting leaving an island or unincorporated peninsula can be ignored if "(i) the area is within the annexing municipality's expansion area; (ii) the specified county in which the area is located and the annexing municipality agree to the annexation; (iii) the area is not within the area of another municipality's annexation policy plan, unless the other municipality agrees to the annexation; and (iv) the annexation is for the purpose of providing municipal services to the area."

Utah Code Ann. § 10-2-403 provides, in part, that an annexation petition shall contain the signatures of "the owners of private real property that: (i) is located within the area proposed for annexation; (ii) (A) subject to Subsection (3)(b)(ii)(C), covers a majority of the private land area

within the area proposed for annexation; (B) covers 100% of rural real property within the area proposed for annexation; ...." (Utah Code Ann. § 10-2-403(3)(b)(ii)).

Under Utah Code Ann. § 10-2-416 the Boundary Commission may: (a) approve the proposed annexation, either with or without conditions; (b) make minor modifications to the proposed annexation and approve it, either with or without conditions; or (c) disapprove the proposed annexation. The Commission is required to issue a written decision on the proposed annexation within 30 days after the conclusion of the hearing and send a copy of the decision to the legislative body of the county; the legislative body of the proposed annexing municipality; the contact person on the annexation petition; and the contact person of each entity or landowner that filed a protest.

RELEVANT UNDISPUTED FACTS

It was undisputed at the hearing that Clinton City, which timely submitted a protest, is an affected entity as defined by statute and that the individual landowners who filed timely protests and who made presentations at the hearing were owners of property zoned for agricultural use that consists of less than one residential unit per acre.

It was undisputed at the hearing that if the annexation were to be completed as proposed that an island of unincorporated county territory would be left within the annexed area and that neither Clinton City nor Davis County had consented to the creation of the island.

It was also undisputed that a portion of the proposed annexation area is within the previously adopted Clinton City Annexation Policy Plan and that Clinton City has not consented to the annexation.

FINDINGS AND CONCLUSIONS

Based on the undisputed facts and law, the Boundary Commission hereby disapproves the proposed annexation for the following reasons.

The annexation petition does not comply with the requirements of Utah Code Ann. § 10-2-402(1)(b)(ii). The Commission finds that the annexation would create and leave an island of unincorporated territory within the annexed area. There was no evidence presented at the hearing that Davis County had consented to this island and Clinton City has affirmatively objected to the creation of the island.

The annexation petition does not comply with the provisions of Utah Code Ann. § 10-2-403(3)(b)(ii))(B), which states: "[e]ach petition under Subsection (1) shall: … (b) contain the signatures of … the owners of private real property that: (i) is located within the area proposed for annexation; (ii) (A) subject to Subsection (3)(b)(ii)(C), covers a majority of the private land area within the area proposed for annexation; (B) covers 100% of rural real property within the area proposed for annexation …." The petition does not comply with these requirements. The petition did not contain the signatures of the owners of private real property or the signatures of 100 percent of the owners of rural real property within the area proposed for annexation.

The annexation petition does not comply with the requirements of Utah Code Ann. § 10-2-402(1)(c)(iii). The Commission finds that a portion of the proposed annexation area is within the previously adopted Clinton City Annexation Policy Plan and that Clinton City has not consented to the annexation.

Pursuant to Utah Code 10-2-417 a review of this decision may be sought in the district court with jurisdiction in Davis County by filing a petition for review of the decision within 20 days of the Commission's decision.

For purposes of seeking a review the date of the Commission's decision shall be the date below.

Dated this 14th day of March 2022.

DAVIS COUNTY BOUNDARY COMMISSION

By:Its Chair

CITY COUNCIL STAFF REPORT

Subject: WFRC Letter of Concurrence
Author: Bryn MacDonald
Department: Community Development
Date: April 19, 2022

Background

Staff applied for funding from the Wasatch Front Regional Council in order to update our general plan. The City was awarded $75,000 from the Transportation and Land Use Connection (TLC) grant. The grant requires a $25,000 match from the City.

Analysis

In order to receive the grant, the City needs to sign a Letter of Concurrence and Match Agreement. This requires the City to contribute $25,000 in order to receive the $75,000 grant. This will give the city $100,000 to complete a new general plan. The funds will be available after July 1, 2022.

Recommendation

Staff recommends that the City Council approve the resolution authorizing the Mayor to sign the Letter of Concurrence and Match Agreement.

Significant Impacts

This will require the addition of $25,000 to next year's budget in order to pay the required match.

Attachments

TLC Award Letter

Letter of Concurrence

RESOLUTION NO. 04-19-2022A

A RESOLUTION APPROVING A LETTER OF CONCURRENCE AND MATCH AGREEMENT BETWEEN WEST POINT CITY AND WASATCH FRONT REGIONAL COUNCIL

WHEREAS, West Point City, on or about December 1, 2021, submitted a Transportation and Land Use Connection (TLC) Application to the Wasatch Front Regional Council (WFRC) for a General Plan update; and

WHEREAS, the City desires to commence and complete the General Plan in a manner consistent with the Application; and

WHEREAS, the WFRC awarded the City $75,000 for the General Plan update; and

WHEREAS, the WFRC requires the City to provide a local match of $25,000 in order to receive the funds; and

WHEREAS, the City Council has reviewed said agreement and finds it acceptable and in good order.

NOW, THEREFORE, BE IT RESOLVED, FOUND AND ORDERED, by the City Council of West Point City as follows:

1. The City Council hereby accepts the Letter of Concurrence and Match Agreement, which is attached hereto and incorporated by this reference.
2. The Mayor is hereby authorized to sign and execute said easement.

PASSED AND ADOPTED this 19th Day of April, 2022.

WEST POINT CITY,
A Municipal Corporation

By:_____
Brian Vincent, Mayor

ATTEST:

_____
Casey Arnold, City Recorder

Jeff Silvestrini, Chair
Mayor, Millcreek

Jeff Scott, Vice Chair
Commissioner, Box Elder County

Mark Allen
Mayor, Washington Terrace

Dirk Burton
Mayor, West Jordan

Mike Caldwell
Mayor, Ogden

Robert Dahle
Mayor, Holladay

Jim Harvey
Commissioner, Weber County

Scott Jenkins
Commissioner, Weber County

Erin Mendenhall
Mayor, Salt Lake City

Mike Newton
Commissioner, Morgan County

Kristie Overson
Mayor, Taylorsville

Joy Petro
Mayor, Layton

John Pohlman
Mayor, Fruit Heights

Mark Shepherd
Mayor, Clearfield

Bob Stevenson
Commissioner, Davis County

Troy Walker
Mayor, Draper

Scott Wardle
Councilmember, Tooele County

Jenny Wilson
Mayor, Salt Lake County

Aimee Winder Newton
Councilmember, Salt Lake County

Senator Wayne Harper
Utah State Senate

Representative Mike Schultz
Utah House of Representatives

Carlton Christensen
Utah Transit Authority

Carlos Braceras
Utah Department of Transportation

Dawn Ramsey
Utah League of Cities & Towns

Lorene Kamalu
Utah Association of Counties

Ari Bruening
Envision Utah

Laura Hanson
State Planning Coordinator

Andrew Gruber
Executive Director

WASATCH FRONT REGIONAL COUNCIL

March 15, 2022

Dear Bryn McDonald:

The Transportation and Land Use Connection program partners would like to thank you for your participation in the program, and we are pleased to inform you that your project will be receiving funding in the 2022 award year.

The West Point General Plan Update will receive an award of $75,000 contingent upon a local match of $25,000, for a total project budget of $100,000. The next step in the process is to sign a Letter of Concurrence, which will be sent to you by your WFRC project manager, who will be assigned in the coming weeks. An invoice for the local match will also be sent. Prior to being assigned a project manager, please let me know if you have any questions.

Your project manager will guide you through the process of completing this important effort; please do not begin any procurement of consulting on your own, this will be done in collaboration with your WFRC project manager. You can become familiar with the next steps here. We hope this award fills a need for your community, and we look forward to seeing this project through to success.

Congratulations,

Megan Townsend

Megan Townsend
Community and Economic Development Director
Wasatch Front Regional Council
(801) 404-8925

TRANSPORTATION AND LAND USE CONNECTION

WASATCH FRONT REGIONAL COUNCIL

SALT LAKE COUNTY REGIONAL DEVELOPMENT

UDOT udot.utah.gov

UTA

TRANSPORTATION AND LAND USE CONNECTION

LETTER OF CONCURRENCE AND MATCH AGREEMENT

This Letter of Concurrence represents a formal agreement between the Wasatch Front Regional Council and West Point City for the information below, consistent with the application submitted by West Point City to WFRC for assistance through Transportation and Land Use Connection.

PROJECT INFORMATION

Project Title: General Plan

Project Manager: Bryn MacDonald

City Address: 3200 West 300 N, West Point City, UT 84015

Manager Email: bmacdonald@westpointcity.org

Manager Phone: (801) 776-0970

LOCAL GOVERNMENT MATCH AGREEMENT

Cash Amount: $25,000

Note: There is a minimum expectation that local government representatives are responsive to WFRC staff, participate and help to coordinate all project meetings, fulfill local government obligations in consultant advertisement and selection, accomplish necessary public noticing, and guide the project to a product that is to awarded community's satisfaction within scope limits, and ultimately support the adoption process if eligible.

TRANSPORTATION AND LAND USE CONNECTION RESOURCES

Financial Contributions: $75,000

Consultant Budget Total: $100,000

GENERAL TIMELINE

Start Date: 7/2022

End Date: 7/2023

DELIVERABLES

General Plan

As part of this agreement, it is understood that the governing body of the West Point City will in earnest consider the final work products for adoption. The West Point City will work with the Wasatch Front Regional Council on all matters of procurement; any consultant services procured independently by the West Point City will not be eligible for reimbursement of project funding.

_____ _____

Date Mayor/Approved Appointee

3200 WEST 300 NORTH
WEST POINT CITY, UT 84015

WEST POINT CITY COUNCIL MEETING MINUTES

WEST POINT CITY HALL

November 16th, 2021

Mayor
Erik Craythorne
City Council
Gary Petersen, Mayor Pro Tem
Jerry Chatterton
Andy Dawson
R. Kent Henderson
Annette Judd
City Manager
Kyle Laws

Administrative Session

5:30 PM

Minutes for the West Point City Council Administrative Session held on November 16, 2021 at 5:30 PM with Mayor Erik Craythorne presiding. This meeting was held at West Point City Hall and also electronically via Zoom. Zoom meeting was accessible to attendees by entering Meeting ID# 880 7961 9234 at https://zoom.us/join or by telephone at (669) 900-6833.

MAYOR AND COUNCIL MEMBERS PRESENT: Mayor Erik Craythorne (attending virtually), Council Member Kent Henderson, Council Member Jerry Chatterton, Council Member Annette Judd (attending virtually), and Council Member Gary Petersen

EXCUSED: Council Member Andy Dawson

CITY EMPLOYEES PRESENT: Kyle Laws, City Manager; Boyd Davis, Assistant City Manager; Bryn MacDonald, Community Development Director; Ryan Harvey, Administrative Services Director; Paul Rochell, Public Works Director; and Casey Arnold, City Recorder

EXCUSED: None

VISITORS PRESENT: Brian Vincent, Michele Swenson, Chris Swenson, and Brad Lee. No sign-in required for those attending virtually.

1. **Discussion Regarding the 2022 West Point City Council Meeting Schedule – Ms. Casey Arnold**
   Ms. Arnold stated that State Code requires legislative bodies of municipalities to approve an annual schedule of their regular meeting dates and times. The City Council has historically met on the 1st and 3rd Tuesday of each month, and the proposed meeting calendar for 2022 continues that schedule, with the following exceptions or additions:

   - Monday, January 3rd – Swearing-In Ceremony of Newly Elected Officials
   - Tuesday, July 5th – Meeting Cancelled in recognition of the Independence Day Holiday
   - Tuesday, August 16th – Special Budget Meeting in addition to regular Administrative and General Sessions

   She noted that the approved meeting dates and times are subject to change as needed and will be noticed accordingly.

   The Council had no further discussion and will consider approval of the 2022 Meeting Schedule in tonight's General Session.

2. **Discussion Regarding Employee Health Insurance Renewal – Mr. Kyle Laws**
   Mr. Laws stated that the open enrollment period for the upcoming benefit year is approaching and renewal rates have been received from the City's current health insurance provider, PEHP. Keys Insurance Services, Inc., the City's insurance broker, gathers rates and plans from other insurance providers in the market to see how the renewal rate and benefits compare to other options. For some time now, the City has budgeted for a 12% increase to benefit costs, although the renewal rate has never been that high.

   The 2022 renewal rate to stay with our existing plan from PEHP for medical insurance is 4.7%. This current plan is a high deductible plan with a Health Savings Account (HSA). The current premium share with employees is 90/10, with the City paying 90% and the employee paying 10%. The City also contributes $5,000 per year to employees with family coverage and $2,500 per year for individual coverage to the employees' HSA. The dental insurance renewal has a 1.7% increase. The total annual cost went from $232,943.76 to $243,897.48, which is significantly less than the 12% increase budgeted for. Mr. Laws briefly reviewed some of the other provider options, and while there are some plans with lower premiums, the deductibles are either higher or have a coinsurance requirement, or have high out-of-pocket maximums. With the relatively low renewal on the existing plan with PEHP, Mr. Laws stated that it his recommendation to avoid having to change providers, networks, doctors, etc., and accept the 4.7% increase.

   Mr. Laws stated that the Council does not need to take any specific action to approve the renewal rate, as the cost is within the approved budget amount, but asked for direction on whether the Council was comfortable accepting the renewal rate or if they

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would like Staff to further research other options. The Council agreed that the renewal rate from the current provider was acceptable and had no concerns or comments. PEHP will continue as the City's health insurance provider for the 2022 benefit year.

Staff expressed their appreciation to the Council for allowing the City to provide medical benefits to employees.

3. Discussion Regarding the Final Plat of the Wildfire Estates Subdivision Phase 4 – Mrs. Bryn MacDonald

Mrs. MacDonald stated that Phases 1 – 3 of this subdivision have already been approved, and the developers are now requesting approval of the final plat for Phase 4, which consists of 17 lots. Phase 1 is completely built out, about 50% of the building permits in Phase 2 have been issued, and Phase 3 is still under construction. In order to begin construction of Phase 4 immediately, the Council would need to allow an exception for it to be done simultaneously with Phase 3.

The Council had no further discussion at this time and will consider approval of the final plat for Phase 4 and the request to begin construction concurrently with Phase 3 at the next meeting.

4. Discussion Regarding the Final Plat of Phase 2 of the Westlake Subdivision – Mrs. Bryn MacDonald

Mrs. MacDonald stated that all of the building permits have been issued for Phase 1 of this subdivision and the developers are requesting approval of the final plat for Phase 2. Phase 2 consists of 17 larger-sized lots and will connect to the Sun View Estates Subdivision on the north side, and in doing so, create the second access for that subdivision. As building permits have been issued for all of Phase 1, no exception is needed from the Council to begin immediate construction of Phase 2.

The Council had no further discussion at this time and will consider approval of the final plat for Phase 2 at the next meeting.

5. Discussion Regarding Security Cameras – Mr. Kyle Laws & Mr. Paul Rochell

Mr. Laws stated that the idea of installing security cameras at City Hall, the Public Works building, and at all of the City's parks has been talked about for the past few years, but has yet to happen, although there are two cameras at East Park that have been in place for the past few years, due to the amount of vandalism happening there. Those cameras are not connected to WiFi and footage has to be pulled directly from a computer at the park that is connected to the cameras. Even so, there have been multiple instances where Staff was able to use the footage and work with the Sheriff's Office and school resource officers to identify and charge the individuals. However, WiFi has now been able to be installed at all of the City's parks using a portion of CARES Act funds that the City received, and it is now possible to have a wireless, cloud-based security system installed that can be viewed from any device. The security system would also be paid for by CARES Act funds, so there would be no impact to the City's budget.

Staff has been working with a company named Verkada to purchase this system. There is a state contract price with them which will allow the City to move more quickly to secure a contract, as an existing state contract eliminates the requirement for multiple bids to be received. The total cost for a 10-year license with Verkada is $53,752.53 and would provide multiple cameras at each of the City's three parks, the Public Works Shop, and at City Hall. He explained that the system would allow for anyone who had access to log in and view each specific camera, with advanced viewing options. The cameras record continuously and the footage is stored in the cloud for 30 days. Mr. Rochell stated that the technology in all of the cameras is 4k, providing high-quality visibility. The owner of the company actually provided a demonstration of a camera at their own building that was able to do facial recognition within about 100 meters of the individual; once identified, the system was able to show everywhere the individual went inside the building within a camera's view.

As the amount is over $30,000, Staff is bringing the purchase of the system to the Council for consideration of approval, in accordance with the City's purchasing policy and practice of how CARES Act funds are to be spent.

Mr. Laws displayed for the Council the proposed locations of the cameras and their ranges of visibility at each park, the Public Works building, and at City Hall. He commented that while there has not been a real issue of vandalism at City Hall, there have been requests from residents that the parking lot be monitored as a "safe exchange place" for situations like custody exchanges or when buying/selling an item online. The Council discussed the locations and ranges of the cameras, feeling that a camera needed to be added on the north side of City Hall and another in the Council Chambers. Mr. Laws confirmed for the Council that once purchased, the cameras can be relocated as needed. He also confirmed that any software updates are included with the license and would be automatically downloaded.

The Council had no further discussion and will consider approval of the contract with Verkada in tonight's General Session.

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6. Discussion Regarding Water Analysis Software – Mr. Boyd Davis

Mr. Davis stated that the City was recently approached by Josh Palmer, with a company named GovFriend, Inc., who has created a software platform that will allow residents to monitor their water usage via an online portal, to purchase the software for West Point. While the software is quite expensive, Mr. Palmer explained that there is currently a grant opportunity through the State of Utah's Division of Water Resources that could be applied for to actually cover the cost. The City has applied for this grant jointly with the Davis & Weber Counties Canal Company (DWCC), as they provide the secondary water service to residents, and that water usage would also be reported. The $100,000 grant requires a match of $8,600 each, however, it is not necessarily a monetary match. It is what they call a "soft match" and does not require any actual funds, but a match of staff time for setting the system set-up and making it available for residents. Mr. Davis showed an example of the software, which is used by South Weber City and where he is a resident, and what the resident portal looks like. He noted that the platform would be branded with the City's logo.

In regards to secondary water usage monitoring, the limitation with the data currently is that it is only available as often as the meters are read by DWCC, which currently requires them to drive-thru the entire City to radio-read the meters. Once the entire City has the new electronic meters, they will be able to be read remotely through a radio tower and gather the data constantly, at which point the software would be especially useful. Mr. Davis stated that electronic meters have been installed on about a third of the existing residences in the City, and DWCC is continuously installing the meters as they receive grants for the funding to be able to do so. All new homes are required to have the electronic meters installed at construction.

The Council inquired as to whether Hooper Water Improvement District would be willing to share their data on the homes in West Point that are connected to their system so that those residents are able to use the program for their culinary water usage as well. Mr. Davis stated that he believes that if their data can be shared, the information could be available in the same portal for the resident. The Council felt that while the portal should be branded with West Point City's logo as it is for West Point residents, it also should be branded with Davis & Weber Counties Canal Company's logo and Hooper Water (if possible and applicable) and their respective contact information so that it is clear that there is different ownership of each system.

The Council had no further discussion regarding the water analysis software at this time and directed Staff to proceed with the grant application process.

7. Discussion Regarding the Water Conservation Report – Mr. Boyd Davis

Mr. Davis stated that every five years, State Code requires water systems with over 500 connections to submit a water conservation plan to the Utah Division of Water Resources to comply with the Water Conservation Act. These plans contain existing and proposed water conservation measures outlining how the entity and the end culinary water user will conserve water and limit or reduce consumption so that adequate water supplies are available for future needs and meet Regional Water Conservation Goals.

There are currently nearly 2,600 connections in West Point and the City uses about 600 acre-ft of culinary water annually. Those numbers are expected to double over the next 40 years to 5,300 connections using nearly 1,500 acre-ft of water. To meet the future water demands the City exacts water shares from all new developments.

As part of the report, the State requires that a specific goal be set of how much the City plans to reduce water usage over the next five years, which Mr. Davis stated he has set at 3% and believes this is a conservative goal that can be met. The water conservation plan includes the following strategies for the next five-year period to meet that goal:

- Continue to use a tiered water rate structure, assessing a higher charge for higher water usage
- Provide water conservation tips and information to the residents by means of the City Newsletter and water bills.
- Apply for the Water Analysis Software Grant that will be used to create an online portal where residents can track their water usage.

The Council thanked Mr. Davis for putting together the report and had no further discussion at this time. Approval of the report via resolution will be considered in tonight's General Session.

8. Discussion Regarding Land Use Code Changes – Mrs. Bryn MacDonald

Mrs. MacDonald stated that the City Council recently adopted the new Title 17 - *Land Use and Development Code* and as Staff has been implementing the new code, a few items have been found that need to be fixed or modified. The proposed changes to address those items are as follows:

1. *Amendments to the Land Use Regulations and the General Plan*: Applications for General Plan Amendments are currently accepted during the months of April and October. With limited meetings during the holiday months it is proposed that the months be changed to March and September for adequate time to review the proposals.

2. *Table of Land Use Regulations*: The following changes are proposed.
    a. Changing the "CC" approval back to "PC" approval within the table. This was an oversight that never got changed back prior to final adoption.
    b. Adding "Internal Accessory Apartments" and "External Accessory Apartments" to the table to comply with new State code requirements.
    c. Adding back to the table "Open Storage for Recreational Vehicle, Boat and Trailers" that was inadvertently removed prior to final adoption

3. *Residential Dwellings:* Utah State Code 10-9a-534 prohibits municipalities from enforcing regulations on "building design elements" (this includes brick and minimum square footage). The proposal removes sections that are not in compliance with state code.

4. *Accessory Buildings:* On December 15, 2020 the City Council adopted changes to accessory buildings code that removed the requirement to be limited to one story. As the new code draft was being finalized the wording for those changes made by City Council was not adjusted prior to final adoption. These changes correct the wording.

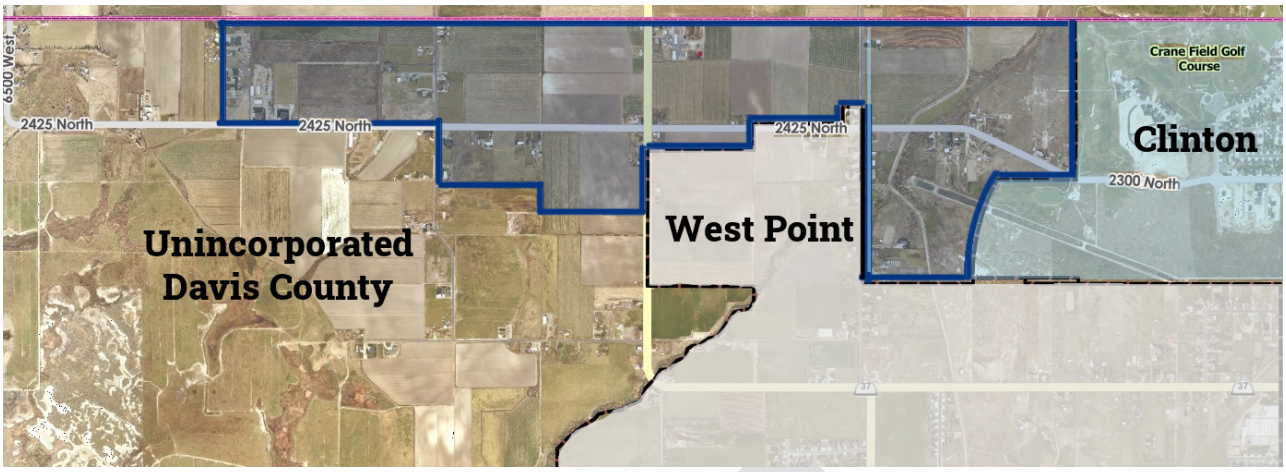
5. *Accessory Dwelling Units:* Utah State Code 10-9a-530 requires municipalities to approve "Internal ADU's." This section addresses those requirements, which includes a restriction on short-term or weekend rentals – rentals have to be 30 days or longer.

In regards to the new State Legislation placing more restrictions on a city's ability to enforce regulations on building design elements, and the resulting increased importance of development agreements, Council Member Petersen felt that it is important that the current language and regulations of the General Plan be preserved so that the expectations/desires of the City are already known when negotiating a development agreement, rather than starting with a blank document and result in a development that is not inline with the City's vision. Council Member Petersen stated that he also thinks it would be beneficial to have another land use training for the Council and Planning Commission, especially in regards to rezone requests and development agreements and what can and cannot be done under the new legislation. Mayor Craythorne added that one of the most important things the City learned when land use expert Meg Ryan gave the last training was that the Council has the ability to approve or deny a rezone for any reason, and while the City cannot require development agreements in City Code, it can decide to approve a rezone only under certain conditions agreed to by a developer. He cautioned that this should be a major tool utilized by the Council when making decisions on rezones, especially because once a property is rezoned, the developer is entitled to that zone's density, without any additional conditions. The Council agreed with this, and wanted it to be very clear to Staff that the current and future City Councils and Planning Commissions understand that rezone requests should be considered in-depth, with a clear understanding of, and agreement to, what the resulting development will be. Essentially, it should be informal policy that a development agreement be a part of every rezone. Mr. Laws suggested that the Council could pass a resolution giving direction to City Staff that a development agreement should try to be negotiated with each rezone request. This would not require that a developer agree to an agreement, which would be against State Code, but would make it clear that an effort to negotiate an agreement be a part of the rezone application process. He stated that he would consult with the City's land use counsel for their opinion on that option. The Council also wanted to have another joint meeting with the Planning Commission to make sure that both bodies understand the new legislation and the tools the City has to be able to regulate development.

The Council had no further discussion on the proposed changes at this time and will consider approval of the changes after holding a public hearing.

9. Discussion Regarding the "Terraform Annexation" Application – Mr. Kyle Laws

Mr. Laws stated that this annexation petition is regarding property in the north east area of the unincorporated area of Davis County, extending from about 1800 N up to the County line, west to 6000 W and east to the boundary of Clinton City. A map of the area is below:



Mr. Laws stated that Utah State Code dictates the annexation process and has specific requirements and deadlines that must be adhered to. Once a petition is received, there is a 14-day period in which the City Council must take action on whether to deny the petition or accept it for further consideration. Accepting it for further consideration does not approve the annexation, it simply allows the process to continue. If the Council does not take action within the 14 days, the petition is automatically deemed accepted for further consideration. Once accepted, either by the Council or through inaction, the City Recorder has 30 days to certify the petition, which involves verifying that the petition meets all the requirements of the State Code in regards to property designation, owner signatures, acreage thresholds, property valuation, etc. There are issues with some of the properties included in the Terraform Petition that will need to be addressed in regards to rural real property and ag protection areas that will require advice from legal counsel as part of the certification process as well. If the Petition is determined to meet the requirements and is certified by the City Recorder, a three-week noticing process to affected entities, property owners within the proposed area and also within a certain radius outside of the area begins. After the noticing period ends, there is a protest filing period wherein protests can be filed by affected entities and owners of rural real property. If protests are received, another process begins with a formation of a Davis County Boundary Commission. Essentially, acceptance of the Petition for further consideration begins a two to three-month process. Mr. Laws stressed that accepting the Petition for further consideration does not mean the annexation is approved, only that it is allowed to move forward through the process. Further, an annexation is a legislative decision and approval is at the discretion of the City Council.

The Council felt that there was a lot of information to discuss and factors to consider with the Petition, and understood that there would be opportunities to have those discussions in the future if the Petition was accepted for further consideration. The Council also understood that a public hearing would be required to be held, and so they would also have the opportunity to gather and evaluate public input as well. As such, the Council was in agreeance that the Petition not be denied at this point and therefore be deemed accepted for further consideration and allow the annexation process to continue.

10. Other Items

No other items were discussed.

The Administrative Session adjourned.

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3200 WEST 300 NORTH
WEST POINT CITY, UT 84015

WEST POINT CITY COUNCIL MEETING MINUTES

WEST POINT CITY HALL

November 16th, 2021

Mayor
Erik Craythorne
City Council
Gary Petersen, Mayor Pro Tem
Jerry Chatterton
Andy Dawson
R. Kent Henderson
Annette Judd
City Manager
Kyle Laws

General Session

7:00 PM

Minutes for the West Point City Council General Session held on November 16th, 2021 at 7:00 PM with Mayor Erik Craythorne presiding. This meeting was held at West Point City Hall and also electronically via Zoom. Zoom meeting was accessible to attendees by entering Meeting ID #880 7961 9234 at https://zoom.us/join or by telephone at (669) 900-6833.

MAYOR AND COUNCIL MEMBERS PRESENT: Mayor Erik Craythorne (attending virtually)**,** Council Member Kent Henderson, Council Member Jerry Chatterton, Council Member Annette Judd (attending virtually), and Council Member Gary Petersen

EXCUSED: Council Member Andy Dawson

CITY EMPLOYEES PRESENT: Kyle Laws, City Manager; Boyd Davis, Assistant City Manager; Bryn MacDonald, Community Development Director; Ryan Harvey, Administrative Services Director; Paul Rochell, Public Works Director; and Casey Arnold, City Recorder

VISITORS PRESENT: Brian Vincent, Michele Swenson, Chris Swenson, Tim Gooch, and Brad Lee. No sign-in required for those attending virtually.

1. **Call to Order –** Mayor Craythorne welcomed those attending the meeting.
2. **Pledge of Allegiance**
3. **Prayer –** Given by Council Member Chatterton
4. **Communications and Disclosures from City Council and Mayor**

   Council Member Petersen – None

   Council Member Henderson – None

   Council Member Judd – None

   Council Member Chatterton – The Mosquito Abatement District Davis recently held their annual conference in Park City and there were some great keynote speakers that shared really interesting information, and he was glad to have had the opportunity to attend. The most recent mosquito report, with data through the end of October, states that Arizona went from 220 to 308 cases of the West Nile Virus and jumped from 37 to 73 deaths caused by the virus within the last month. There were no reported death cases in Utah, nor any that were serious enough to require hospitalization.

5. **Communications from Staff**

   Mr. Laws stated that there are a few events coming up in the next few weeks. Monday, November 29th, is the City Hall Lighting Ceremony, with some of the highlights of the event being a short firework show and Santa arriving to City Hall on a fire truck. The annual Christmas Party for City Staff and Officials will be held on December 3rd, and he encouraged all those who have not yet RSVP'd to do so. The annual Child Remembrance Ceremony will be held on December 6th at 7 PM at the West Point Cemetery.

6. **Citizen Comment**

   Joelle Caruso – 457 N 3650 W: Ms. Caruso's home is near the City's splash pad at the Loy Blake Park, and she is aware that there are many kids that use the splash pad as a place to skateboard or for other similar activities. However, there are also people that come park their cars in the parking lot late at night and stay for long periods of time, often times playing loud music. She knows that there are cameras at the park, but would like to know if any of them are able to view the parking lot and could help identify

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these individuals. Ms. Caruso also had a comment in regards to the new land use code, and the ("Terraform") annexation petition, and whether a development agreement can be used to allow for more density for the property but to make sure that the developer is giving something in return. Further, with it now being a combined petition, she believes that there are more people not in favor than in favor and she would like to know whether that is a responsibility of the Planning Commission or the City Council to find out and consider when approving, or if it is up to Staff.

7. Consideration of Approval of the August 17th, 2021 West Point City Council Meeting Minutes

Council Member Henderson motioned to approve the minutes
Council Member Judd seconded the motion
The Council unanimously agreed

8. Consideration of Approval of the Minutes from the August 24th, 2021 West Point City Council Meeting

Council Member Petersen motioned to approve the minutes
Council Member Chatterton seconded the motion
The Council unanimously agreed

9. Consideration of Approval of Ordinance No. 11-16-2021A, Approving the 2022 Meeting Schedule of the West Point City Council – Ms. Casey Arnold

Ms. Arnold reviewed the 2022 Meeting Schedule in tonight's Administrative Session and the Council had no further discussion.

Council Member Chatterton motioned to approve Ordinance No. 11-16-2021A
Council Member Judd seconded the motion

Roll Call:

Council Member Chatterton – Aye
Council Member Petersen – Aye
Council Member Henderson – Aye
Council Member Judd – Aye
Council Member Dawson – Absent

The Council unanimously agreed

10. Approval of the 2021 General Election Canvass – Ms. Casey Arnold

Ms. Arnold reviewed the results of the 2021 General Election, which were finalized and released by Davis County the previous evening:

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REGISTERED VOTERS	BALLOTS CAST	VOTER TURNOUT
6,150	2,395	38.94%

Municipal General Election November 2, 2021 Summary of By-Mail and Provisional Ballots Not Coun	Total ballots not counted	Already Voted	Affiliation Differences	No Proof of Identiy	Incomplete Application	No Proof of Residency	Power of Attorney	Signed by someone other than voter	Deceased	Moved out of County	No Signature	Signature did not match	Empty Evnelope	Not Timely
West Point By-Mail	17										2	9		6
West Point Provisional	0													
Total	17	0	0	0	0	0	0	0	0	0	2	9	0	6

MAYOR CANDIDATE	BALLOTS CAST	% OF VOTES
BRIAN VINCENT	1,232	51.51%
GARY L PETERSEN	1,160	48.49%
TOTAL	2,392	100.00%

CITY COUNCIL CANDIDATE	BALLOTS CAST	% OF VOTES
BRAD LEE	1,430	32.24%
MICHELE SWENSON	1,156	26.06%
ANDY DAWSON	1,026	23.13%
JEREMY STRONG	824	18.58%
TOTAL	4,436	100.00%

Based upon the results, Brian Vincent has been elected to fill the Mayoral position and Brad Lee and Michele Swenson will fill the two City Council Member seat vacancies.

The Swearing-In Ceremony will be held on January 3rd at 12:00 PM at City Hall. The Ceremony will be live-streamed as well. Ms. Arnold invited all to attend as these individuals are sworn-in to begin their four-year terms as elected officials.

As the Board of Canvassers, Staff recommends that the City Council approve the 2021 General Election Canvass Results. The Council had no further discussion.

Council Member Petersen motioned to approve
Council Member Henderson
The Council unanimously agreed

11. Consideration of Approval of Resolution No. 11-16-2021A, Approving a Contract with Verkada for Security Cameras – Mr. Kyle Laws & Mr. Paul Rochell

Mr. Laws briefly summarized the information presented to the Council in tonight's Administrative Session, stating that Staff has been working with a company named Verkada to purchase a security camera system. There is a state contract price with Verdaka, which will allow the City to move more quickly to secure a contract by eliminating the need to receive bids from multiple providers. The total cost for a 10-year license with Verkada is $53,752.53 and would provide multiple cameras at each of the City's three parks, the Public Works Shop, and at City Hall. The system would allow for anyone who had access to log in and view each specific camera, with advanced viewing options. In the earlier discussion, the Council had expressed their desire to add an additional camera on the north side of City Hall and one inside the Council Chambers as well, which will increase the price of the contract. Council Member Chatterton inquired as to whether it would make sense to purchase an additional camera for the public works facility with this initial purchase, because the cameras can be taken down and relocated as needed, instead

of waiting until the new facility is built to have to purchase an additional camera. Mayor Craythorne noted that CARES Act Funds will be used to pay for the cameras and system, and there is funding available to add this suggested camera as well as the other two additional cameras already discussion.

The Council were in agreeance with the proposed camera purchase and system, as well as three additional cameras and had no further discussion.

Council Member Chatterton motioned to approve Resolution No. 11-16-2021A, with the adjustment to include the costs of the three additional cameras discussed
Council Member Petersen seconded the motion
The Council unanimously agreed

12. **Consideration of Approval of the Final Plat for the Legacy Storage Subdivision** (*Located at Approximately 4200 W 1800 N*) **– Mrs. Bryn MacDonald**
Mrs. MacDonald stated this item has been discussed in previous meetings, and explained that the developer is requesting final plat approval of this one-lot subdivision. The development consists of 8 acres and will be a mix of storage units and outdoor RV storage. After the final plat has been approved, the applicant will need to come back for a site plan review and approval from the Planning Commission and City Council on site specific improvements. The site plan will address issues like water drainage, building design, etc., which will all be discussed by the Council as they consider final approval of the site plan.

The Council had no further discussion.

Council Member Henderson motioned to approve
Council Member Judd seconded the motion
The Council unanimously agreed

13. **Consideration of Approval of Resolution No. 11-16-2021B, Approving the 2021 Water Conservation Report – Mr. Boyd Davis**
Mr. Davis stated that this item was discussed earlier in tonight's Administrative Session, and briefly reviewed that State Code requires that every five years, water systems with over 500 connections to submit a water conservation plan to the Utah Division of Water Resources to comply with the Water Conservation Act. These plans contain existing and proposed water conservation measures outlining how the entity and the end culinary water user will conserve water and limit or reduce consumption so that adequate water supplies are available for future needs and meet Regional Water Conservation Goals.

There are currently nearly 2,600 connections in West Point and the City uses about 600 acre-ft of culinary water annually. Those numbers are expected to double over the next 40 years to 5,300 connections using nearly 1,500 acre-ft of water. To meet the future water demands the City exacts water shares from all new developments.

As part of the report, the State requires that a specific goal be set of how much the City plans to reduce water usage over the next five years, which Mr. Davis stated he has set at 3% and believes that is a conservative goal that can be met. The water conservation plan includes the following strategies for the next five-year period to meet that goal:

- Continue to use a tiered water rate structure, assessing a higher charge for higher water usage.
- Provide water conservation tips and information to the residents by means of the City Newsletter and water bills.
- Apply for the Water Analysis Software Grant that will be used to create an online portal where residents can track their water usage.

Council Member Chatterton motioned to approve Resolution No. 11-16-2021B
Council Member Henderson seconded the motion
The Council unanimously agreed

14. **Consideration of Approval of Ordinance No. 11-16-2021B, Adopting an Impact Fee Facilities Plan & Impact Fee Enactment for the Sanitary Sewer System – Mr. Boyd Davis**
Mr. Davis stated that this is a significant item that has been in process for several months and been discussed by the City Council in multiple meetings. The City contracted with the firm Bowen Collins & Associates to complete the sewer system study and provided a brief overview of the results of the study and the information that has been previously presented:

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This Impact Fee Facilities Plan is specific to the area northwest of the City that is expected to be annexed in to West Point at some point in the future. This area will be served by the sewer system proposed in the plan, and will be considered its own system with its own impact fee that is unique to the area. Because of this, the impact fee is expected to be much higher than the impact fee in other parts of the City because it will be a brand-new system and nearly 100% of the costs will be borne by new growth.

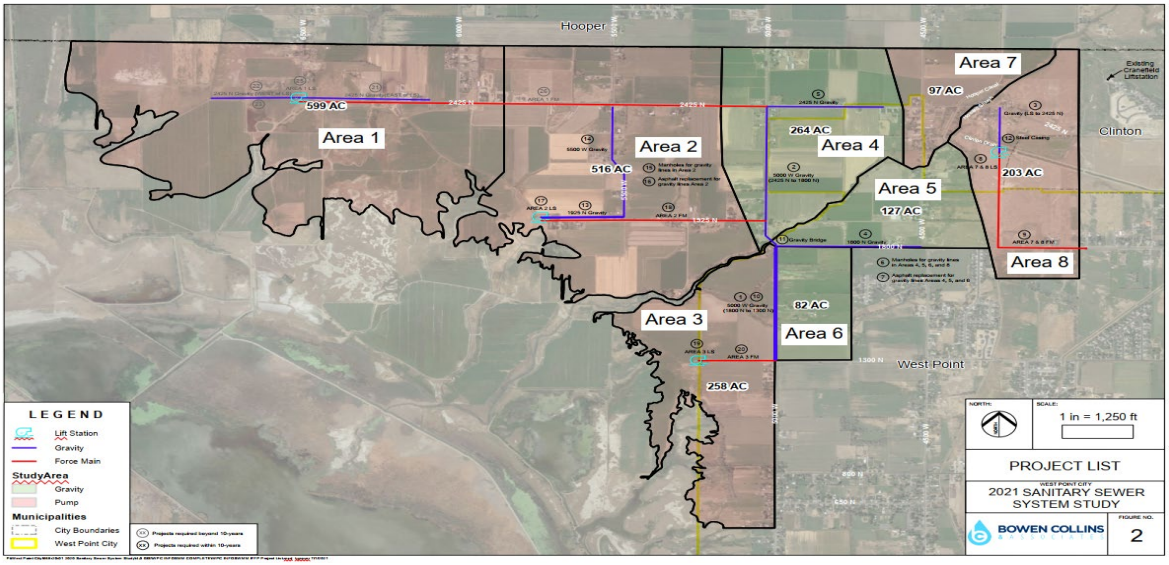
The purpose of the impact fee facilities plan is to identify new projects that will be required to meet the future needs. It also provides an estimated cost of the improvements and possible financing sources. A fair impact fee is calculated by dividing the cost of existing and future facilities by the amount of new growth that will benefit from the unused capacity. Only the capacity that is needed to serve the projected growth within in the next ten years is included in the fee. Costs used in the calculation of impact fees include:

- New facilities required to maintain (but not exceed) the proposed level of service in the system; only those expected to be built within ten years are considered in the final calculations of the impact fee.
- Historic costs of existing facilities that will serve new development
- Cost of professional services for engineering, planning, and preparation of the Impact Fee Facilities Plan and impact fee analysis

The costs not used in the impact fee calculation are as follows:

- Operational and maintenance costs
- Cost of facilities constructed beyond 10 years
- Cost associated with capacity not expected to be used within 10 years
- Cost of facilities funded by grants, developer contributions, or other funds which West Point City is not required to repay
- Cost of renovating or reconstructing facilities which do not provide new capacity or needed enhancement of services to serve future development

The following map depicts the eight different areas that will be served, and the sewer system capital projects that are proposed to be needed:



The total cost of these projects is between $25 to $30 million, which only includes the system level projects (main trunk lines) – it does not include the costs that developers will have to pay to connect to these lines to serve their developments. By law, projects can only be included if they are projected to be needed within the next ten years, and a summary of the costs and impact fee analysis for the next 10-year period is summarized in the table below:

Table ES-1
Impact Fee Calculation per ERU – West Point City Service Area

System Components	Total Cost of Component	% Serving 10-year Growth	Cost Serving 10-year Growth	10-year ERUs Served	Cost Per ERU
Collection Facilities					
10-Year Projects	$ 15,784,110	24.5%	$ 3,870,251	1049	$ 3,689
10-Year Project Interest Costs	$ 6,760,806	24.5%	$ 1,657,744	1049	$ 1,580
Credit for User Fees Paid Toward Existing					$ (128.96)
Subtotal	$ 22,544,916		$ 5,527,995		$ 5,141
Studies					
All Studies	$ 65,300	96.3%	$ 62,867	1049	$ 59.93
TOTAL	$ 22,610,216		$ 5,590,862		$ 5,201

Mr. Davis stated that the impact fee assessed cannot be higher than the amount calculated, and rather than setting the fee at $5,201, recommends that the impact fee be set at an even $5,200. However, Mr. Davis stated that he was approached by a developer earlier in the day whose development would be one of the first impacted by this new fee. That development is the Sun View Estates Subdivision, being developed by Mark Thayne, and is within the service area. Mr. Thayne stated that he only recently was made aware of the sewer study and impact fee analysis, and asked if approval of the fee by the Council could be delayed to allow him time to review all of the information. Mr. Davis stated that Staff is not opposed to granting this request, as there is no rush to implement the fee, but told Mr. Thayne that it was ultimately the Council's decision.

The Mayor opened the item for public hearing.

a. Public Hearing

Mark Thayne – 704 N 3500 W: Mr. Thayne thanked Mr. Davis for relaying his request to delay final action to the Council, adding that he was caught off guard by the information, at no fault to the City, and had not been able to process the information and impact the large fee would have. He also would appreciate the opportunity to discuss with Staff a few concerns that he may have.

Council Member Chatterton motioned to continue the public hearing to the next meeting and table taking action on the proposed ordinance until at least the close of the public hearing.
Council Member Henderson seconded the motion
The Council unanimously agreed

15. Motion to Adjourn the General Session

Council Member Petersen motioned to adjourn
Council Member Chatterton seconded the motion
The Council unanimously agreed

_____ April 19th, 2022
BRIAN VINCENT, MAYOR

_____ April 19th, 2022
CASEY ARNOLD, CITY RECORDER

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