



3200 W 300 N, West Point, UT 84015
801.776.0970

WEST POINT CITY COUNCIL MEETING NOTICE & AGENDA *ELECTRONIC MEETING* April 6th, 2021

Mayor
Erik Craythorne
Council
Gary Petersen, Mayor Pro Tem
Jerry Chatterton
Andy Dawson
R. Kent Henderson
Annette Judd
City Manager
Kyle Laws

THIS PUBLIC MEETING WILL BE HELD ELECTRONICALLY IN ACCORDANCE WITH THE MARCH 11TH, 2021 WRITTEN DETERMINATION:

PURSUANT TO UTAH CODE ANN. 52-4-207(4), We, the undersigned Mayor and Planning Commission Chair of West Point City, hereby determine that conducting City Council and Planning Commission meetings at any time during the next 30 days at an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location.

The World Health Organization, the President of the United States, the Governor of Utah, and the Davis County Health Department have all recognized that a global pandemic exists related to the new strain of the coronavirus, COVID-19. Further, according to information from state epidemiology experts, Utah is currently in an acceleration phase, which has the potential to overwhelm the state's healthcare system.

This written determination will expire thirty days from the date it is signed.

The original of this Written Determination is on file in the City Recorder's office. An electronic copy is also available on the City website at www.westpointcity.org.

The public may monitor or listen to the meeting electronically and provide public comment when appropriate by following the instructions below:

- Join Zoom Meeting at: <https://us02web.zoom.us/j/81786951051> or
- Connect via Telephone: Dial 1(669) 900-6833 and enter Meeting ID: 817 8695 1051

Members of the public may also participate in the Citizen Comment item via email prior to the meeting

Comments must be received prior to the 7PM City Council Meeting

- Email: carnold@westpointcity.org
- Subject Line: Must be designated as "Citizen Comment – April 6, 2021 City Council Meeting"
- Email Body: Must include First & Last Name and Address and a succinct statement of your comment.

ADMINISTRATIVE SESSION

6:00 PM – OPEN TO THE PUBLIC

- Discussion Regarding a Fence Line Agreement – Mr. Boyd Davis pg. 4
- Discussion Regarding Site Plan Amendment for The Point Development (Appx. 300 N 2000 W) – Mrs. Bryn MacDonald pg. 9
- Discussion Regarding the Site Plan for Pad A of The Point Development – Mrs. Bryn MacDonald pg. 14
- Discussion Regarding Christmas Lights – Mr. Kyle Laws pg. 29
- Other Items

GENERAL SESSION

7:00 PM – OPEN TO THE PUBLIC

- Call to Order
- Prayer (Please contact the City Recorder to request meeting participation by offering a prayer or inspirational thought)
- Communications and Disclosures from City Council and Mayor
- Communications from Staff
- Citizen Comment** (If you wish to make comment to the Council, you are encouraged to email your comments prior to the meeting using the instructions above. If you have joined the electronic meeting, use the "raise hand" icon if on a computer or dial *9 to indicate that you would like to make a comment. When it is your turn, the meeting host will unmute you. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives)
- Youth Council Update
- Consideration of Approval of the March 2nd, 2021 West Point City Council Meeting Minutes pg. 37
- Consideration of Final Approval of Wildfire Estates Subdivision Phase 3 – Mrs. Bryn MacDonald pg. 30
- Motion to Move Into a Closed Session

CLOSED SESSION

- Motion to Open Closed Session
- Call to Order and Roll Call
- Discussion Regarding the Purchase of Real Property, Pursuant to UCA §52-4-205(1)(d)
- Discussion Regarding Pending Litigation, Pursuant to UCA §52-4-205(1)(c)
- Motion to Adjourn the Closed Session and Enter the General Session

10. Motion to Adjourn the General Session

Posted this 1st day of April, 2021


CASEY ARNOLD, CITY RECORDER

If you plan to attend this meeting and, due to disability, will need assistance in understanding or participating therein, please notify the City at least twenty-four (24) hours prior to the meeting and we will seek to provide assistance.

West Point City Council

April 6, 2021

TENTATIVE UPCOMING ITEMS

Date: **04/20/2021**

Administrative Session – 6:00 pm

General Session – 7:00 pm

1. Recognition of Michelle Bailey, Former West Point City Employee
2. Update from the Miss West Point Royalty
3. Consideration of Approval of the Site Plan Amendment for The Point Development – Mrs. Bryn MacDonald
4. Consideration of Approval of the Site Plan for Pad A of The Point Development – Mrs. Bryn MacDonald
5. Consideration of Approval of Resolution No. 04-20-2021A, Approving a Payback Agreement for the Sunview Estates Subdivision – Mr. Boyd Davis
6. Consideration of Approval of Resolution No. 04-20-2021B, Approving a Boundary Line Agreement between West Point City and Penny R. Kapp – Mr. Boyd Davis

Date: **05/04/2021**

Administrative Session – 6:00 pm

1. Discussion Regarding the FY2021 Amended Budget and FY2022 Tentative Budget for West Point City and All Related Agencies – Mr. Ryan Harvey

General Session – 7:00 pm

1. Youth Council Update

Date: **05/18/2021**

Administrative Session – 6:00 pm

1. Discussion Regarding the FY2021 Amended Budget and FY2022 Tentative Budget for West Point City and All Related Agencies – Mr. Ryan Harvey

General Session – 7:00 pm

1. Consideration of Approval of Resolution No. 05-18-2021A, Approving the FY2021 Amended Budget – Mr. Ryan Harvey
 - a. Public Hearing
 - b. Adoption

Date: **06/01/2021**

Administrative Session – 6:00 pm

1. Discussion Regarding the FY2022 Tentative Budget for West Point City and All Related Agencies – Mr. Ryan Harvey

General Session – 7:00 pm

1. Youth Council Update
2. Consideration of Approval of Resolution No. 06-01-2021A, Approving the FY2022 Tentative Budget – Mr. Ryan Harvey
 - a. Public Hearing
 - b. Adoption

CDRA – 7:30 pm

1. Consideration of Approval of R06-01-2020A, Approving the FY2022 Tentative Budget for the CDRA of West Point City – Mr. Ryan Harvey
 - a. Public Hearing
 - b. Adoption

Date: **06/15/2021**

Administrative Session – 6:00 pm

1. Discussion Regarding the FY2022 Final Budget and 2021 Property Tax Rate for West Point City and All Related Agencies – Mr. Ryan Harvey

General Session – 7:00 pm

CDRA – 7:00 pm

2. Consideration of Approval of R06-15-2020A, Approving the FY2022 Final Budget for the CDRA of West Point City – Mr. Ryan Harvey
 - a. Public Hearing
 - b. Adoption

Date: **07/06/2021**

Administrative Session – 6:00 pm

General Session – 7:00 pm

1. Youth Council Update



WEST POINT CITY 2021 CALENDAR

2021

IMPORTANT DATES

JANUARY

SUN	MON	TUE	WED	THU	FRI	SAT
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

JULY

SUN	MON	TUE	WED	THU	FRI	SAT
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

JANUARY

1	New Year's Day - CLOSED
5	City Council - 6 PM
11	Senior Lunch - CANCELED
14	Planning Commission - 6 PM
18	MLK Jr. Day - CLOSED
19	City Council - 6 PM
28	Planning Commission - 6 PM
TBD	City Council Planning & Visioning Session

JULY

2-3	PARTY AT THE POINT EVENTS
5	Independence Holiday - CLOSED
6	City Council - 6 PM
8	Planning Commission - 6 PM
12	Senior Lunch - CANCELED
20	City Council - 6 PM
22	Planning Commission - 6 PM
23	Pioneer Day Holiday - CLOSED

FEBRUARY

SUN	MON	TUE	WED	THU	FRI	SAT
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28						

AUGUST

SUN	MON	TUE	WED	THU	FRI	SAT
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

FEBRUARY

2	City Council - 6 PM
8	Senior Lunch - CANCELED
11	Planning Commission - 6 PM
15	President's Day - CLOSED
16	City Council - 6 PM
25	Planning Commission - 6 PM

AUGUST

TBD	Summer Party
3	City Council - 6 PM
12	Planning Commission - 6 PM
17	City Council - 6 PM
20	MOVIE IN THE PARK - DUSK
20	Senior Dinner - 5:30 PM
26	Planning Commission - 6 PM

MARCH

SUN	MON	TUE	WED	THU	FRI	SAT
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

SEPTEMBER

SUN	MON	TUE	WED	THU	FRI	SAT
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

MARCH

2	City Council - 6 PM
11	Planning Commission - 6 PM
15	Senior Lunch - CANCELED
16	City Council - 6 PM
25	Planning Commission - 6 PM

SEPTEMBER

6	Labor Day - CLOSED
7	City Council - 6 PM
9	Planning Commission - 6 PM
13	Senior Lunch - 11:30 AM
17	MOVIE IN THE PARK - DUSK
21	City Council - 6 PM
23	Planning Commission - 6 PM

APRIL

SUN	MON	TUE	WED	THU	FRI	SAT
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

OCTOBER

SUN	MON	TUE	WED	THU	FRI	SAT
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

APRIL

TBD	EASTER EGG HUNT - 10 AM
6	City Council - 6 PM
8	Planning Commission - 6 PM
12	Senior Lunch - CANCELED
20	City Council - 6 PM
22	Planning Commission - 6 PM

OCTOBER

TBD	HALLOWEEN CARNIVAL - 7 PM
4	Senior Lunch - 11:30 AM
5	City Council - 6 PM
7	CEMETERY CLEANING
11	Employee Training - CLOSED
13	Council/Staff Lunch - 11:30 AM
14	Planning Commission - 6 PM
19	City Council - 6 PM
28	Planning Commission - 6 PM

MAY

SUN	MON	TUE	WED	THU	FRI	SAT
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

NOVEMBER

SUN	MON	TUE	WED	THU	FRI	SAT
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

MAY

TBD	TAKE PRIDE IN WEST POINT
4	City Council - 6 PM
6	CEMETERY CLEANING
13	Planning Commission - 6 PM
17	Senior Lunch - CANCELED
18	City Council - 6 PM
27	Planning Commission - 6 PM
31	Memorial Day - CLOSED

NOVEMBER

2	ELECTION DAY
6	FLAGS ON VETERANS' GRAVES
11	Veterans Day - CLOSED
15	Senior Lunch - 11:30 AM
16	City Council - 6 PM
25-26	Thanksgiving - CLOSED
29	CITY HALL LIGHTING - 6 PM

JUNE

SUN	MON	TUE	WED	THU	FRI	SAT
Columbus	1	2	3	4	5	
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

DECEMBER

SUN	MON	TUE	WED	THU	FRI	SAT
Columbus	1	2	3	4		
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

JUNE

TBD	MISS WEST POINT PAGEANT
1	City Council - 6 PM
10	Planning Commission - 6 PM
14	Senior Lunch - CANCELED
15	City Council - 6 PM
24	Planning Commission - 6 PM

DECEMBER

3	Christmas Party - 7 PM
6	CHILD REMEMBRANCE - 7 PM
7	City Council - 6 PM
9	Planning Commission - 6 PM
13	Senior Lunch - 11:30 AM
17	CEMETERY LUMINARY - 4 PM
21	City Council - 6 PM
23	Planning Commission - 6 PM
24-27	Christmas Holiday - CLOSED
31	New Year's Holiday - CLOSED

*UPDATED AS OF December 1, 2020

City Council Staff Report

Subject: Boundary Line Agreement
Author: Boyd Davis
Department: Engineering
Date: April 4, 2021



Background

As the City Staff has been reviewing the future plans for the Bingham Park, it has come to our attention that there is a discrepancy in the south property line between the park and the neighbor. To resolve the issue a boundary line agreement should be made between the two owners.

Analysis

There is a fence along the south boundary of the park that has always been considered the property line, however, the legal descriptions on the deeds for the properties show it farther to the south.

The attached survey drawing shows the location of the fence and the deed line. The drawing shows the proposed property line will follow the fence going east along the park and then angle slightly to the south to a point on the corner of 550 N and 4500 W. It angles to the south because there is an irrigation headgate on that corner and the neighbor said that is not on his property, although it is on his side of the fence. He said that he knew that when he put up his fence and always agreed that his fence was not the property line in that location.

The attached boundary line agreement states that both owners agree to the new property line as described on the record of survey drawing. If approved and executed, the agreement will be recorded on both properties and will officially become the property line.

Recommendation

No action required; this is for discussion only. However, staff recommends approval of the agreement. Fence lines should be considered property lines in most cases and seems appropriate in this area. State statues also make it clear that fences become the property lines after a certain amount of time.

Significant Impacts

The difference between the original park deed and the new boundary is about 0.17 acres.

Attachments

Boundary Line Agreement
Record of Survey Drawing

WHEN RECORDED PLEASE
SEND TO:

West Point City
3016 West 300 North
West Point, UT 84015

And

Gary Kapp
547 North 4500 West
West Point, UT 84015

BOUNDARY LINE AGREEMENT

This "Boundary Line Agreement" is entered into between and among,

West Point City Parcels 140430047

and

Penny R Kapp, Trustee of the Penny R Kapp Revocable Trust Dated the 25th Day of August 1994,
Parcels 140430086, 140430088

Adjacent property owners in West Point City, Davis County, State of Utah.

In consideration of the mutual promises, covenants, and conditions contained herein the parties hereto agree as follows:

1. There currently exists an occupation and fence line separating the real property utilized by the foregoing property owners, which does not coincide with the recorded deed line of the parties and which said fence line is described as follows:

A PART OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 5 NORTH, RANGE 2 WEST, OF THE SALT LAKE BASE AND MERIDIAN.
BEGINNING AT THE INTERSECTION OF THE EAST LINE OF SAID SOUTHWEST QUARTER AND AN EXISTING FENCE LINE BEING LOCATED SOUTH 00°26'36" WEST 1385.61 FEET ALONG SAID EAST LINE FROM THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; RUNNING THENCE ALONG AN EXISTING FENCE LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 86°43'16" WEST 296.98 FEET; (2) SOUTH 89°41'50" WEST 270.49 FEET; (3) SOUTH 89°40'44" WEST 737.41 FEET TO THE POINT OF TERMINATION.

West Point City Parcels 140430047

Record Parcel Description: BEG 296.0 FT W OF THE NE COR OF THE SE 1/4 OF THE SW 1/4 OF SEC 31-T5N-R2W, SLM & RUN TH SE'LY ALG THE ARC OF A 64 FT RAD CURVE TO THE LEFT 100.53 FT; TH W 1067.2 FT M/L TO SE COR OF LOT 13, BINGHAM ESTATES PHASE 5, SUBD; TH N 385.7 FT M/L TO THE SW COR OF LOT 1, BINGHAM ESTATES PHASE 7 SUBD; TH ALG THE S LINE OF SD SUBD 998.19 FT M/L TO THE W LINE OF 4550 W STR; TH S 319.2 FT M/L TO POB. CONT. 8.80 ACRES.

Penny R Kapp, Trustee of the Penny R Kapp Revocable Trust Dated the 25th Day of August 1994,
Parcels 140430086, 140430088

A PART OF THE SE 1/4 OF THE SW 1/4 OF SEC 31-T5N-R2W, SLB&M. BEG PT ON THE E LINE OF THE SW 1/4 OF SEC 31, BEING S 00°06'06" W 1534.61 FT ALG SD E LINE OF THE SW 1/4 FR THE CENTER OF SD SEC 31-T5N-R2W, SLB&M; TH THE FOLLOWING COURSES: N 89°50'29" W 15.53 FT TO THE W R/W LINE OF UTAH STATE ROUTE 110; TH N 00°09'31" E 2.81 FT ALG THE SD W R/W LINE OF UTAH STATE ROUTE 110 TO A FENCE LINE; TH N 89°46'02" W 806.77 FT ALG SD FENCE LINE &

ITS EXTENSION; TH S 00°09'31" W 114.51 FT PARALLEL TO THE SD W R/W LINE OF STATE ROUTE 110 TO A FENCE LINE; TH S 89°51'08" W 477.80 FT ALG SD FENCE LINE TO A FENCE LINE; TH N 00°49'20" W 262.25 FT ALG SD FENCE LINE TO THE EXTENSION OF THE SOUTHERNMOST R/W LINE OF 550 NORTH STR; TH S 89°50'29" E 1304.43 FT ALG THE SOUTHERNMOST R/W LINE OF 550 NORTH STR & ITS EXTENSIONS TO THE SD E LINE OF THE SW 1/4 OF SEC 31; TH S 00°06'06" W 149.00 FT ALG SD E LINE OF THE SW 1/4 OF SEC 31 TO THE POB. LESS & EXCEPTING AND PORTION OF SD PPTY LYING WITHIN THE ROAD. CONT. 5.573 ACRES

And

A PART OF THE SE 1/4 OF THE SW 1/4 OF SEC 31-T5N-R2W, SLB&M. BEG PT ON FENCE LINE, SD PT BEING S 00°06'06" W 1640.91 FT ALG THE E LINE OF THE SW 1/4 & W 15.63 FT & S 89°51'08" W 198.34 FT FR THE CENTER OF SD SEC 31-T5N-R2W, SLB&M; TH THE FOLLOWING COURSES: S 89°51'08" W 608.44 FT ALG SD FENCE LINE; TH N 00°09'31" E 114.51 FT PARALLEL TO THE SD W R/W LINE OF STATE ROUTE 110 TO AN EXTENSION OF A FENCE LINE; TH S 89°46'02" E 608.43 FT ALG SD EXTENSION OF A FENCE LINE; TH S 00°09'31" W 110.47 FT PARALLEL TO THE SD W R/W LINE OF STATE ROUTE 110 TO THE POB. CONT. 1.571 ACRES

1. It is the intent of the parties that the foregoing described line shall supersede all recorded deed descriptions and shall henceforth be the agreed to recorded deed line of the parties affecting their respective adjoining properties.
2. The parties agree that this boundary line agreement shall be recorded with the Davis County Recorder as evidence of their agreement, as set forth above.
3. The parties agree to execute any other documents which may be necessary to effectuate the foregoing.
4. See Boundary Adjustment Plat by Gardner Engineering

Continued on next page

By:
West Point City

Date: _____
Mayor, West Point City

Date: _____
Attest, City Recorder

STATE OF UTAH)
 §
COUNTY OF Davis)

On this _____ day of _____ 2021, personally appeared before me _____, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that they are the Mayor of West Point City, and that said document was signed by him/her in behalf of said West Point City by Authority of its Bylaws, and said _____ acknowledged to me that said West Point City executed the same.

STAMP

NOTARY PUBLIC

By:
Penny R Kapp, Trustee of the Penny R Kapp Revocable Trust Dated the 25th Day of August 1994:

Date: _____
Penny R Kapp, Trustee

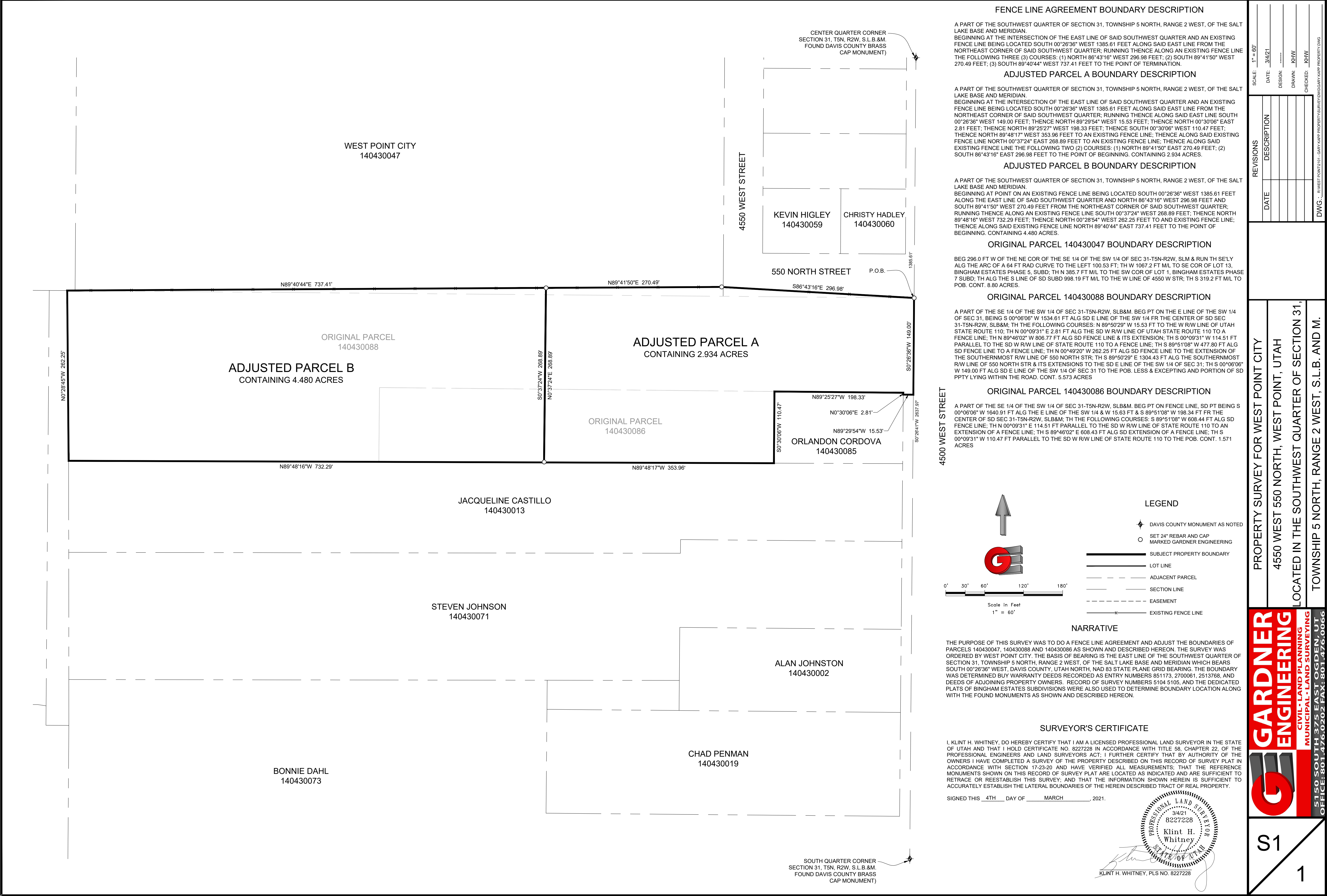
Date: _____
Gary M. Kapp, Trustee

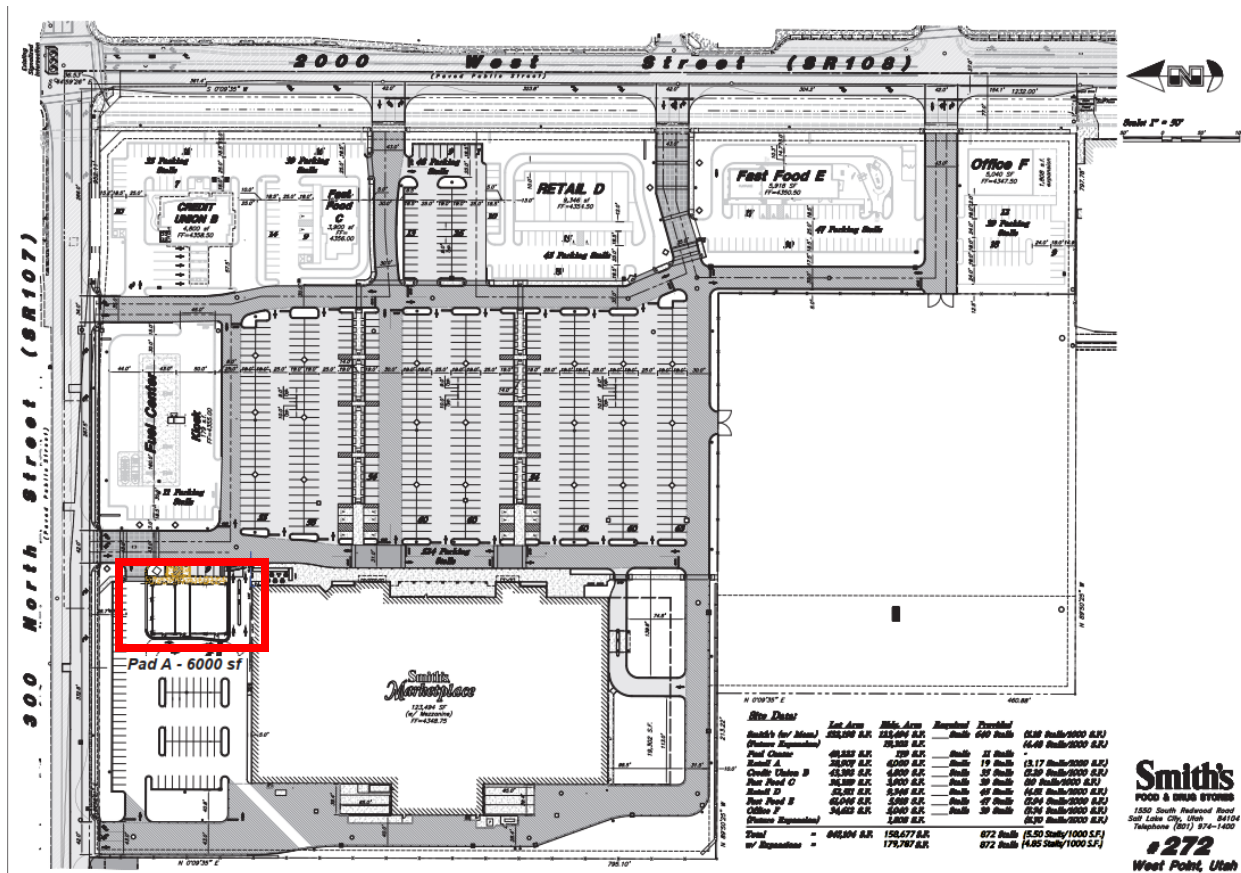
STATE OF UTAH)
 §
COUNTY OF WEBER)

On this _____ day of _____ 2021, personally appeared before me Penny R Kapp and Gary M. Kapp, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that they are the Trustees of the Penny R Kapp, Trustee of the Penny R Kapp Revocable Trust Dated the 25th Day of August 1994, and that said document was signed by him/her in behalf of said trust by Authority of its Bylaws, and said Penny R Kapp and Gary M Kapp acknowledged to me that said trust executed the same.

STAMP

NOTARY PUBLIC





Proposed Site Plan

The revised site plan will allow a drive thru to be installed on the south side of the new building. Staff has worked with the applicant to address concerns with stacking in the drive-thru lane and the flow of traffic in the parking lot.

The Planning Commission was concerned that the north side of the existing Smith's building has a different colored elevation, where a future building was planned to be attached. With this revised site plan, the new building will now be separated and not attached to Smiths. The PC required that the elevation be repaired to match the rest of the building.



Recommendation

The Planning Commission recommended approval of the amended site plan for The Point development, with the condition that the north side of the Smith's building be fixed to match the rest of the elevation.

Significant Impacts

None

Attachments

Application

Plans

Site Plan Application

All applications submitted must be made in accordance with the Title 15.20 & 17 of the West Point City Code, Governing all Land Use and Commercial Development. If a development contains or incorporates one or more pads and such has received final site plan approval, the planning commission must grant approval of each pad prior to construction.

Development Property Information			
Development Name: Smiths Site		Current Zoning: C-C	Total Acreage: Approx. 20 acres
Approximate Address: 279 N 2000 WEST		Lot Number: Site Plan	
Developer/Agent Contact Information			
Contact Name: Logan Johnson		Company: Wright Development	Owner of Property? ☒ YES ☐ NO
Address: 1178 W Legacy Crossing Blvd		City: Centerville	State: UT Zip: 84014
Contact Office Phone: 801.773.7339	Contact Cell Phone:	Contact Email: logan@wrightdevelopment.com	
Engineer Contact Information			
Name: Thomas Hunt		Company: Wright Development	
Address: 1178 W Legacy Crossing Blvd		City: Centerville	State: UT Zip: 84014
Contact Office Phone: 801.773.7339	Contact Cell Phone:	Contact Email: thomas@wrightdevelopment.com	

NOTE: If the agent listed above is not the property owner, he/she must be authorized as the assigned "AGENT" by completing the **STATEMENT OF OWNERSHIP/DESIGNATION OF AGENT** section below. This authorization only needs to be completed once, prior to concept approval.

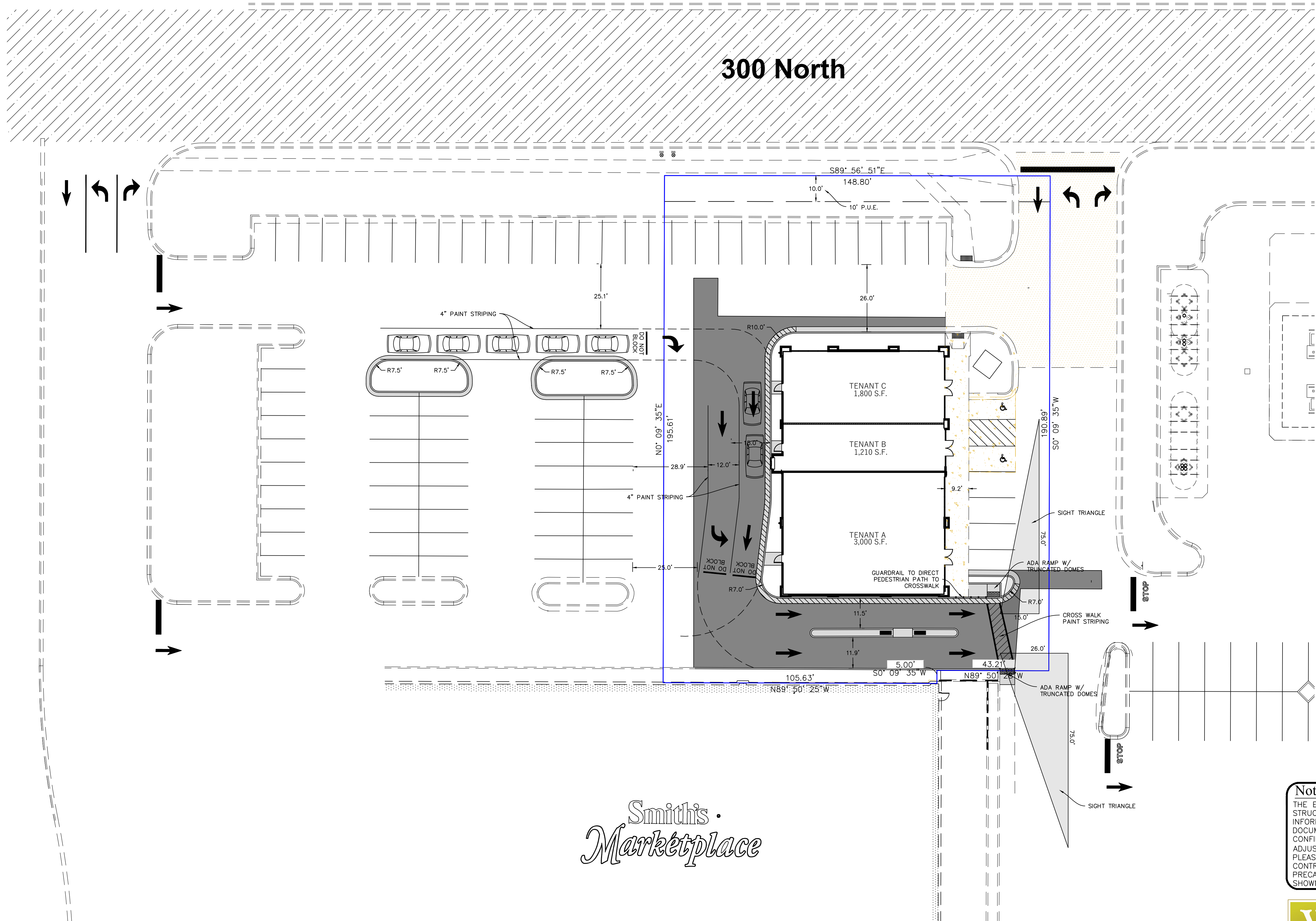
I hereby certify that the requested Subdivision would comply with all required conditions and standards of the West Point City Subdivision and Land Use Ordinance, be harmonious with neighboring uses, fit the goals of the community's General Plan, and impose no insatiable demands for public services. I have read the West Point Subdivision and Land Use Ordinances and understand that submitting this Application does not guarantee approval and is subject to the discretion of the City Land Use Authority and compliance with all requirements of West Point City's Municipal Code.

Logan Johnson 23feb2020
Developer/Agent Signature Date

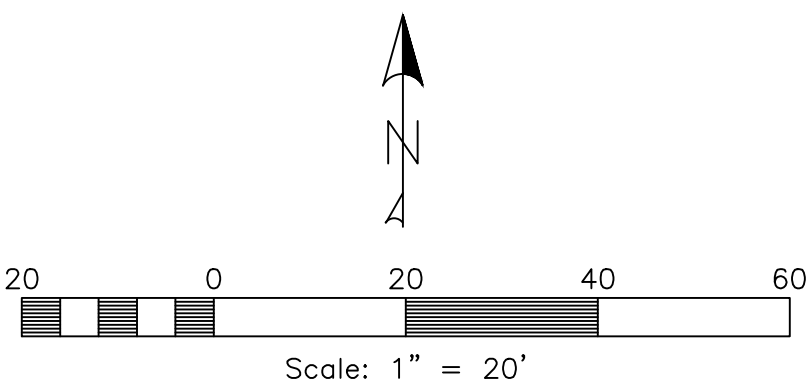
Statement of Ownership/Designation of Agent (provide a small plat map showing ownership)

As the undersigned legal owners of the property described on a short plat map, we designate Logan Johnson to act as the agent with respect to this application.

Spencer Wright 23feb2020
Property Owner Signature Print Name Date



Site Information			
SITE AREA:	0.66 ACRES		
BUILDING AREA:	6,010 SF	20.9%	
- TENANT A	3,000 SF		
- TENANT B	1,210 SF		
- TENANT C	1,800 SF		
LANDSCAPE AREA:	4,274 SF	14.9%	
HARD SURFACE:	18,465 SF	64.2%	



Notice To Contractors:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



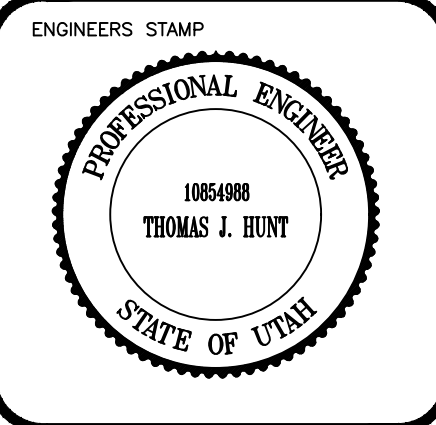
Developer Contact:
Spencer Wright
Wright Development Group
1178 W. Legacy Crossing Blvd Ste 100
Centerville Utah 84014
PH: (801) 773-7339

HUNT ENGINEERING, LLC
HUNT ENGINEERING, LLC
6619 Willow Creek Rd
Mountain Green, UT 84050
C. 801.864.4724
thomas.hunt@hunt-engineering.com

West Point Pad A
279 North 2000 West
West Point, UT

Proposed Site Plan

Revisions	Date



PROJECT INFO.	
Engineer:	T. HUNT
Drafter:	T. HUNT
Start Date:	12/22/2020
Name:	West Point Pad A

SHEET	8
4	SHEETS

Subject: Pad Approval – The Point Pad A
Author: Bryn MacDonald
Department: Community Development
Date: April 6, 2021



Wright Development is seeking Pad Approval for Pad A located in The Point development. Pad A is located directly North of the Smith's Marketplace building (279 North 2000 West).

The proposed building will consist of three tenant spaces, ranging from 1,200 to 3,000 square feet of floor area. It is anticipated that Tenant A will be a financial institution and will require a drive-thru, thus they are requesting separation from the main Smith's building. The applicant would also like to provide a drive-thru for Tenant B as shown on the plans. The building elevations will match the brick and design of the Smith's Building and other surrounding buildings.

[illegible]



PERSPECTIVE

The building elevations meet all requirements set forth in the City Code. The Planning Commission wanted to ensure that the elevations would match the existing Smiths building, including colors and matching stone columns.

The Planning Commission was also concerned that the north side of the existing Smith's building has a different colored elevation, where this future building was planned to be attached. With the revised site plan, this building will now be separated and not attached to Smiths. The PC required that the Smiths elevation be repaired to match the rest of the building.

Recommendation

The Planning Commission recommended approval for Pad A in The Point development, with the condition that the color scheme of the elevations be congruent with the existing Smith's building and the north side of Smiths be repaired.

Significant Impacts

None

Attachments

Application

Plans

Site Plan Application

All applications submitted must be made in accordance with the Title 15.20 & 17 of the West Point City Code, Governing all Land Use and Commercial Development. If a development contains or incorporates one or more pads and such has received final site plan approval, the planning commission must grant approval of each pad prior to construction.

Development Property Information			
Development Name: Pointe Pad A		Current Zoning: C-C	Total Acreage: 0.664
Approximate Address: 279 N 2000 WEST		Lot Number: Lot 2	
Developer/Agent Contact Information			
Contact Name: Logan Johnson		Company: Wright Development	Owner of Property? ☒ YES ☐ NO
Address: 1178 W Legacy Crossing Blvd		City: Centerville	State: UT Zip: 84014
Contact Office Phone: 801.773.7339	Contact Cell Phone:	Contact Email: logan@wrightdevelopment.com	
Engineer Contact Information			
Name: Thomas Hunt		Company: Wright Development	
Address: 1178 W Legacy Crossing Blvd		City: Centerville	State: UT Zip: 84014
Contact Office Phone: 801.773.7339	Contact Cell Phone:	Contact Email: thomas@wrightdevelopment.com	

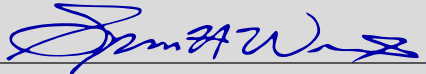
NOTE: If the agent listed above is not the property owner, he/she must be authorized as the assigned "AGENT" by completing the **STATEMENT OF OWNERSHIP/DESIGNATION OF AGENT** section below. This authorization only needs to be completed once, prior to concept approval.

I hereby certify that the requested Subdivision would comply with all required conditions and standards of the West Point City Subdivision and Land Use Ordinance, be harmonious with neighboring uses, fit the goals of the community's General Plan, and impose no insatiable demands for public services. I have read the West Point Subdivision and Land Use Ordinances and understand that submitting this Application does not guarantee approval and is subject to the discretion of the City Land Use Authority and compliance with all requirements of West Point City's Municipal Code.

 11jan2020
Developer/Agent Signature Date

Statement of Ownership/Designation of Agent (provide a small plat map showing ownership)

As the undersigned legal owners of the property described on a short plat map, we designate Logan Johnson to act as the agent with respect to this application.

 11jan2020
Property Owner Signature Print Name Date

West Point Pad A

CIVIL CONSTRUCTION SET

LOCATED IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN
WEST POINT CITY, DAVIS COUNTY, UTAH
DECEMBER, 2020

AGENCY CONTACTS:

PLANNING:
West Point City Planning Department
3200 W 300 N
West Point, UT 84015
Contact: Troy Moyes
Phone: (801) 776-0970

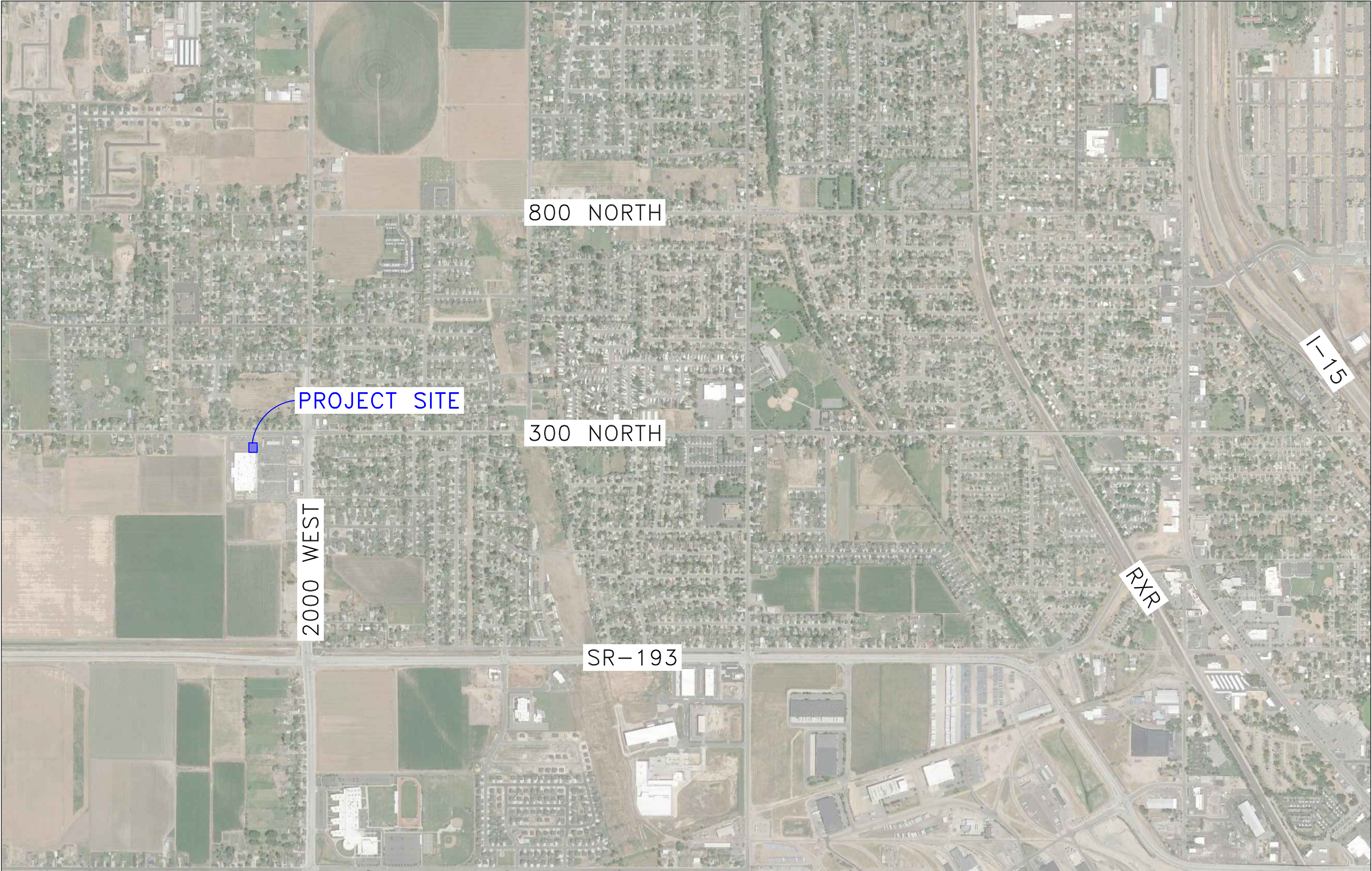
SEWER DISTRICT:
North Davis Sewer District
4252 W 2200 S
Syracuse, UT 84075
Contact: Steve Lamb
Phone: (801) 825-0712

POWER COMPANY:
Rocky Mountain Power
Customer Service Line
Phone: (801) 546-1235

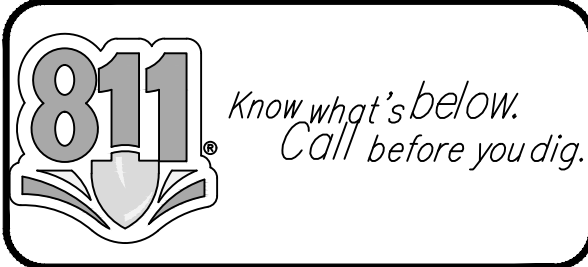
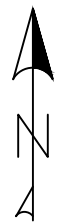
TELEPHONE COMPANY:
Century Link
Customer Service Line
Phone: (801) 603-6000

FIRE DEPARTMENT:
North Davis Fire District
381 North 3150 West
West Point, UT 84015
Phone: (801) 525-2850

GAS SERVICE:
Dominion Energy
1140 West 200 South
Salt Lake City, UT 84104
Contact: Don Newman
Phone: (801) 323-5517



Vicinity Map
SCALE: 1" = 750'



Notice To Contractors:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPENCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

DEVELOPER:

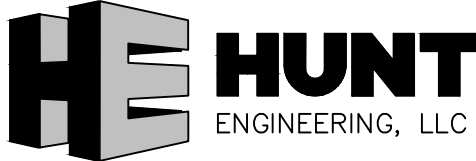


Wright Development Group
Spencer Wright
1178 W. Legacy Crossing Blvd Ste 100
Centerville Utah 84014
PH: (801) 773-7339

ARCHITECT:

JZW Architects
Gonzalo Calquin
849 W. Hill Field Rd. Ste 201
PH: (801) 801.936.1343

ENGINEERING:



Hunt Engineering
Thomas Hunt, PE
6619 Willow Creek Rd
Mountain Green, UT 80450
PH: (801) 664-4724

SURVEYOR:

Entellus
Jeremiah Cunningham, PLS
1470 South 600 West
Woods Cross, UT 84010
PH: (801) 298-2236

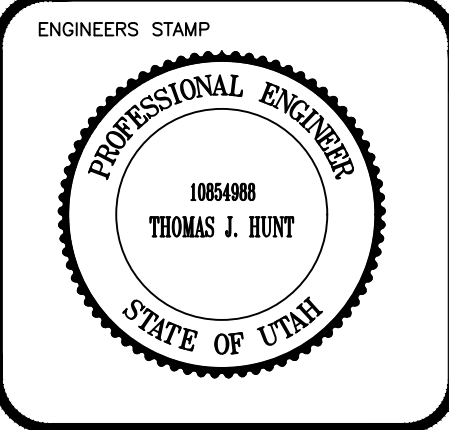
- Sheet Index
Sheet 1 - Cover Sheet
Sheet 2 - Notes/Legend Sheet
Sheet 3 - Demolition Plan
Sheet 4 - Site Plan
Sheet 5 - Grading/Utility Plan
Sheet 6 - Civil Details
Sheet 7 - SWPPP Exhibit
Sheet 8 - SWPPP Details

HUNT ENGINEERING, LLC
HUNT ENGINEERING, LLC
6619 Willow Creek Rd
Mountain Green, UT 84050
C. 801.664.4724
thomas.hunt@hunt-engineering.com

West Point Pad A
279 North 2000 West
West Point, UT

Cover Sheet

Revisions	Date



PROJECT INFO.

Engineer: T. HUNT

Drafter: T. HUNT

Start Date: 12/22/2020

Name: West Point Pad A

SHEET	8
1	SHEETS

GENERAL NOTES

- 1.0 COMPLIANCE
- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY’S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING:
- INTERNATIONAL BUILDING CODES (IBC)
 - INTERNATIONAL PLUMBING CODES
 - STATE DRINKING WATER REGULATIONS
 - APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS
 - ADA ACCESSIBILITY GUIDELINES.
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.
- 2.0 PERMITTING AND INSPECTIONS
- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT–OF–WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.
- 3.0 COORDINATION AND VERIFICATION
- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:
- LANDSCAPE PLANS
 - SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)
 - FIRE PROTECTION
 - ARCHITECTURAL SITE PLANS
 - ACCESSIBLE ROUTES
 - ETC.
- 3.4 CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.
- 4.0 SAFETY AND PROTECTION
- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- 4.2 CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.3 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR WORKERS AND PUBLIC.
- 4.4 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- 4.5 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.6 IT IS THE CONTRACTOR’S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.7 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE “MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES”, LATEST EDITION.
- 4.8 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.9 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.10 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.11 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.12 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.13 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.14 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR’S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER’S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 5.0 MATERIALS
- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4” MAXIMUM SLUMP WITH 5 + OR –1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:
- SLABS–ON–GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
 - CONCRETE WATERWAYS, CURBWALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
 - UNLESS OTHERWISE NOTED, ALL SLABS–ON–GRADE WILL HAVE A MINIMUM 8” TURNED–DOWN EDGE TO HELP CONTROL FROST HEAVE.
 - UNLESS OTHERWISE NOTED, ALL ON–GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4” GRAVEL BASE OVER A WELL COMPACTED (90%) MIN. SUBGRADE.
 - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY “PLASTERING” OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL “GREEN.”
 - ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
- 5.2 ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3” OVER 6” OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.
- ASPHALT COMPACTION SHALL BE A MINIMUM 96%.
 - SURFACE COARSE SHALL BE 1/2” MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
 - AC PAVEMENT TO BE A 1/4” ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
 - THICKNESS OVER 3” WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4” MINUS DESIGN.

- 6.0 GRADING & SOILS
- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- 6.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.3 ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D–1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- 6.4 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.5 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.6 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

- 7.0 UTILITIES
- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR’S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 CONTRACTOR TO VERIFY BY POTHOLES BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES, NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB–CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLES A MINIMUM OF 300 FEET AHEAD, PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSIMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON–SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

- 8.0 SURVEY CONTROL
- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

- 9.0 AMERICAN DISABILITIES ACT
- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
 - ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
 - RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

- 10.0 EROSION CONTROL
- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT “OPEN” FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT–OF–WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

- 11.0 MAINTENANCE
- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP’S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE–OUT.
- 11.2 THE CONTRACTOR’S RESPONSIBILITY SHALL INCLUDE MAKING BI–WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE–HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
 - TRACKING STRAW PERPENDICULAR TO SLOPES
 - INSTALLING A LIGHT–WEIGHT, TEMPORARY EROSION CONTROL BLANKET

LEGEND

	PROPOSED IRRIGATION		PROPOSED LAND DRAIN
	EXISTING IRRIGATION		PROPOSED LAND DRAIN LATERAL
	EXISTING IRRIGATION REMOVE		EXISTING LAND DRAIN
	BOUNDARY		EXISTING LAND DRAIN REMOVE
	EASEMENT		PROPOSED BUILDING
	EXISTING EASEMENT		EXISTING BUILDING
	RED LINE		EXISTING BUILDING REMOVE
	PROPOSED CURB & GUTTER		PROPOSED WATER
	EXISTING CURB & GUTTER		PROPOSED WATER LATERAL
	EXISTING CURB & GUTTER REMOVE		EXISTING WATER
	LOT		EXISTING WATER REMOVE
	PROPOSED POWER		PROPOSED STORM DRAIN
	EXISTING POWER		EXISTING STORM DRAIN
	EXISTING POWER REMOVE		EXISTING STORM DRAIN REMOVE
	PROPOSED GAS		PROPOSED SECONDARY WATER
	EXISTING GAS		PROPOSED SECONDARY WATER LATERAL
	EXISTING GAS REMOVE		EXISTING SECONDARY WATER
	PROPOSED SEWER		EXISTING SECONDARY WATER REMOVE
	PROPOSED SEWER LATERAL		PROPOSED RETAINING WALL
	EXISTING SEWER		SIGN
	EXISTING SEWER REMOVE		BSW BACK OF SIDEWALK
	PROPOSED FIRE HYDRANT		BOW BOTTOM OF WALL
	EXISTING FIRE HYDRANT		BLDG BUILDING
	PROPOSED MANHOLE		C&G CURB AND GUTTER
	EXISTING MANHOLE		CB CATCH BASIN
	EXISTING CLEAN OUT		C.F. CUBIC FOOT
	PROPOSED VALVE		FFE FINISHED FLOOR ELEVATION
	EXISTING VALVE		FG FINISHED GRADE
	NEW WATER METER		FH FIRE HYDRANT
	EXISTING WATER METER		FL FLOW LINE
	PROPOSED CATCH BASIN		GB GRADE BREAK
	EXISTING CATCH BASIN		INV INVERT
	PLUG & BLOCK		L.F. LINEAR FOOT
	PROPOSED STREET LIGHT		NG NATURAL GRADE
	EXISTING STREET LIGHT		PP POWER POLE
	RIGHT–OF–WAY		RIM RIM OF MANHOLE
	TOP BACK OF CURB		TOW TOP OF WALL
	TOA TOP OF ASPHALT		WM WATER METER
	TOC TOP OF CONCRETE		
	TOI TOP OF PUMP ISLAND		
	TSW TOP OF SIDEWALK		
	EXISTING ASPHALT PAVEMENT		
	EXISTING CONCRETE PAVEMENT		
	PROPOSED ASPHALT PAVEMENT		
	PROPOSED CONCRETE		

HUNT

ENGINEERING, LLC

HUNT ENGINEERING, LLC

579 West Applewood Dr.

Centerville, UT 84014

C. 801.864.4724

thomas.hunt@hunt-engineering.com

West Point Pad A

279 North 2000 West

West Point, UT

Notes & Legend

Sheet

Revisions	Date

ENGINEER'S STAMP

PROJECT INFO.

Engineer:

T. HUNT

Drafter:

T. HUNT

Start Date:

12/22/2020

Name:

West Point Pad A

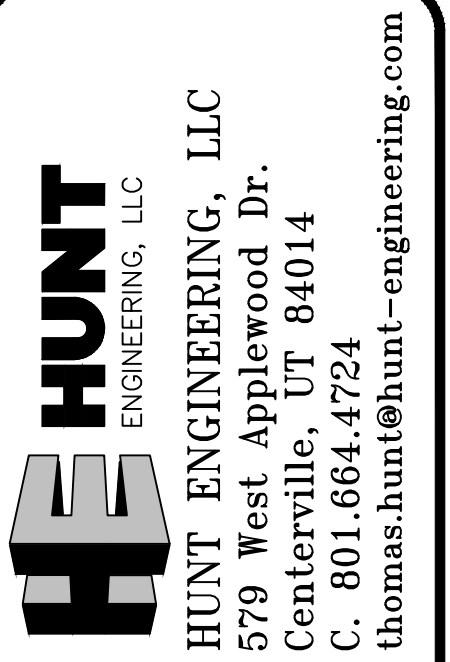
SHEET

2

8

SHEETS

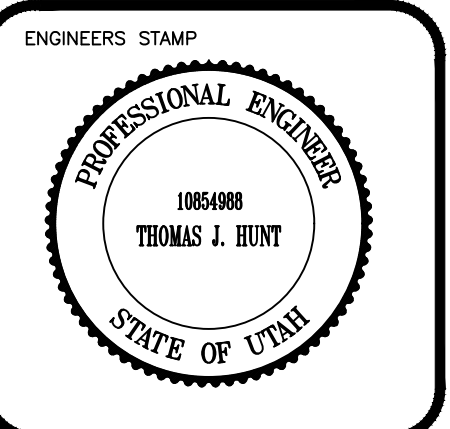
DEMOLITION NOTES:
1. ALL DEMOLITION IS TO BE IN ACCORDANCE WITH STATE AND CITY STANDARDS.
2. CONTRACTOR TO CALL BLUE STAKES PRIOR TO ANY DEMOLITION.



West Point Pad A
279 North 2000 West
West Point, UT

Demolition Plan

Revisions	Date



PROJECT INFO.

Engineer: T. HUNT

Drafter: T. HUNT

Start Date: 12/22/2020

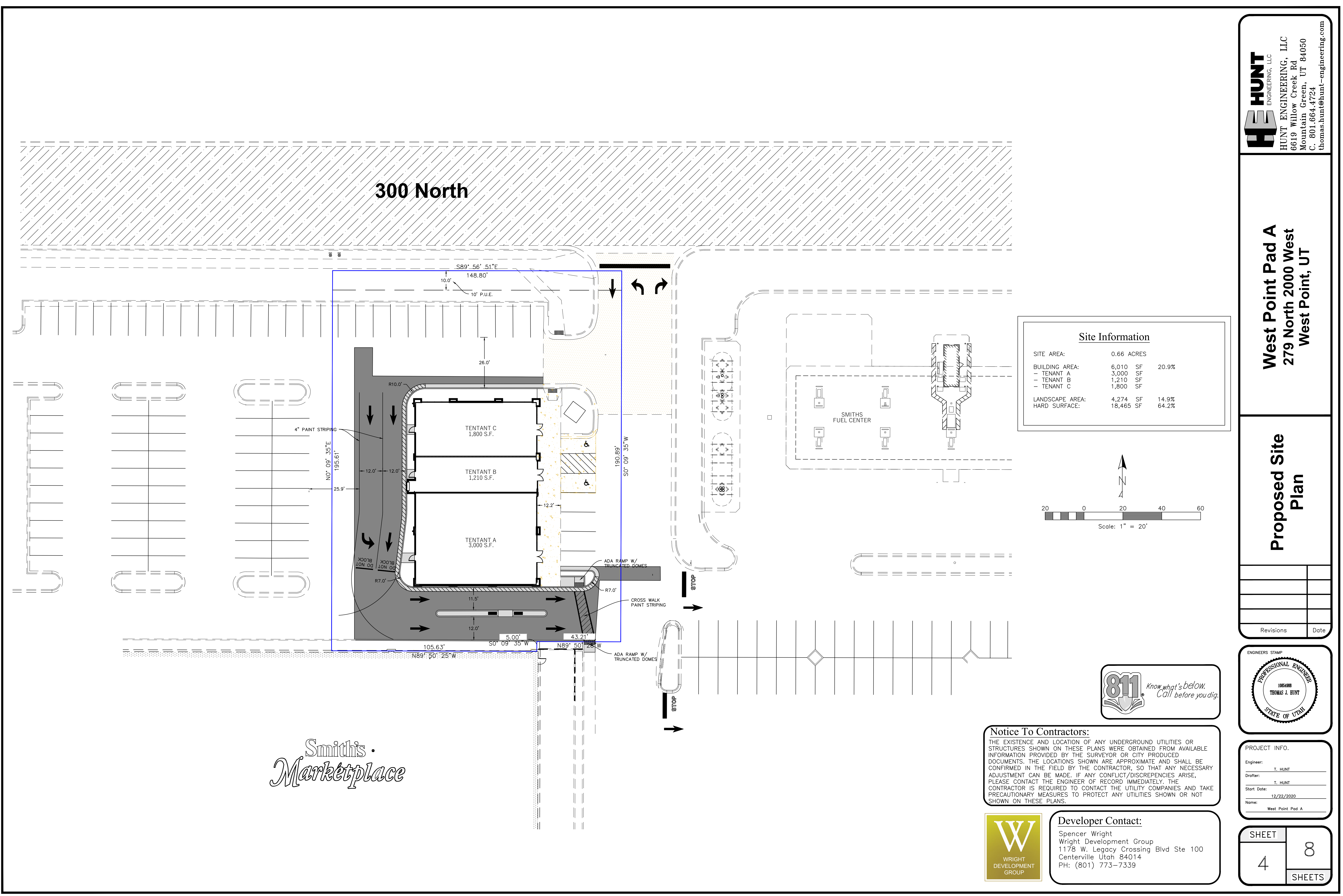
Name: West Point Pad A

SHEET	8
3	SHEETS



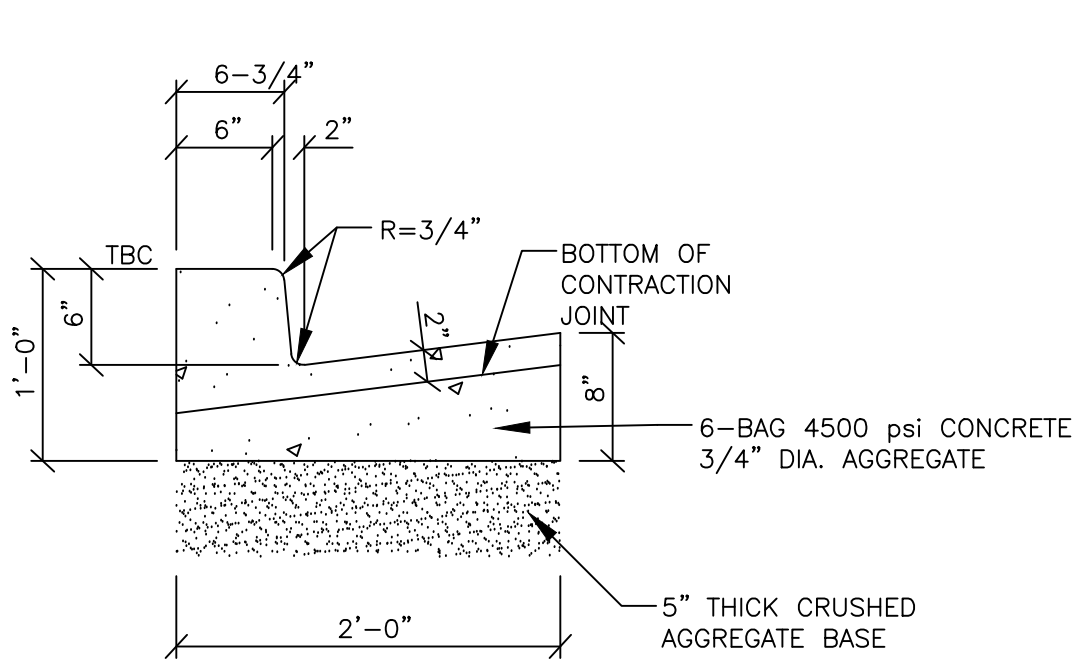
Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED. THE EXISTENCE AND LOCATION OF ANY UTILITIES SHOWN ON THESE PLANS WILL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE NECESSARY PREPARATION MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

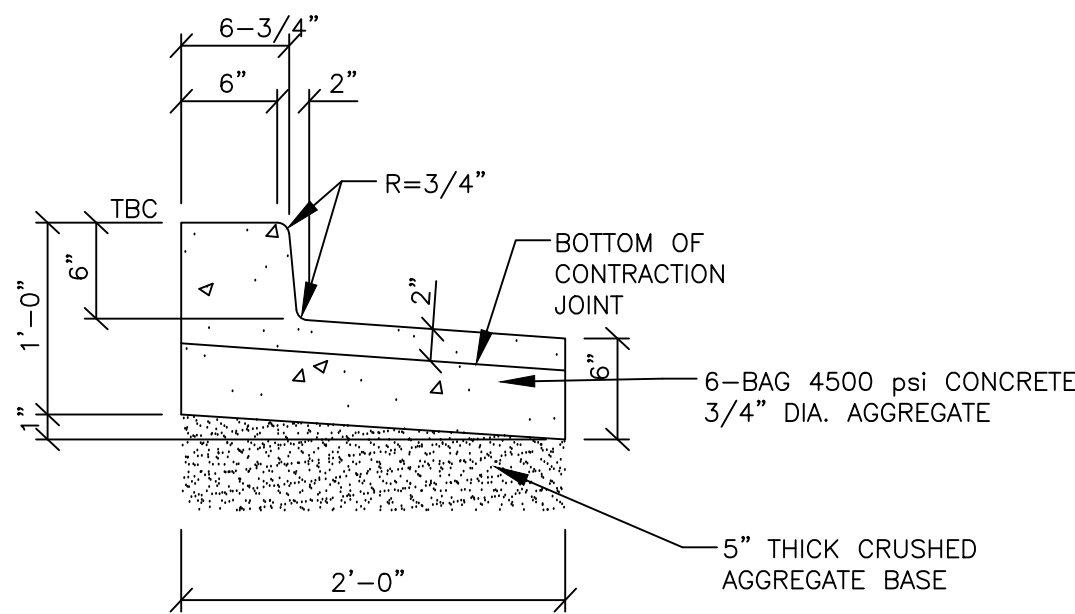


West Point Pad A
279 North 2000 West
West Point, UT

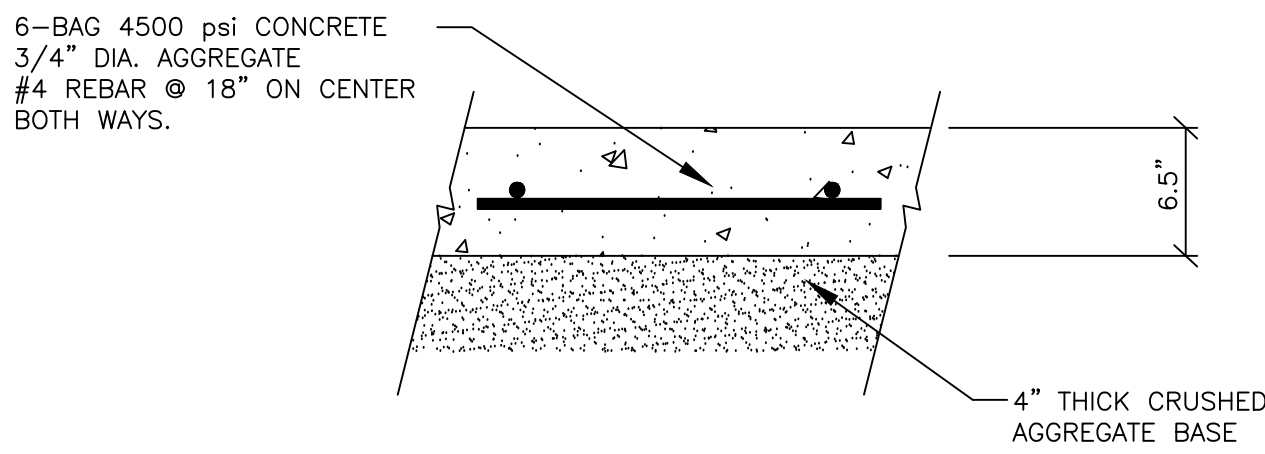
Proposed Site
Plan



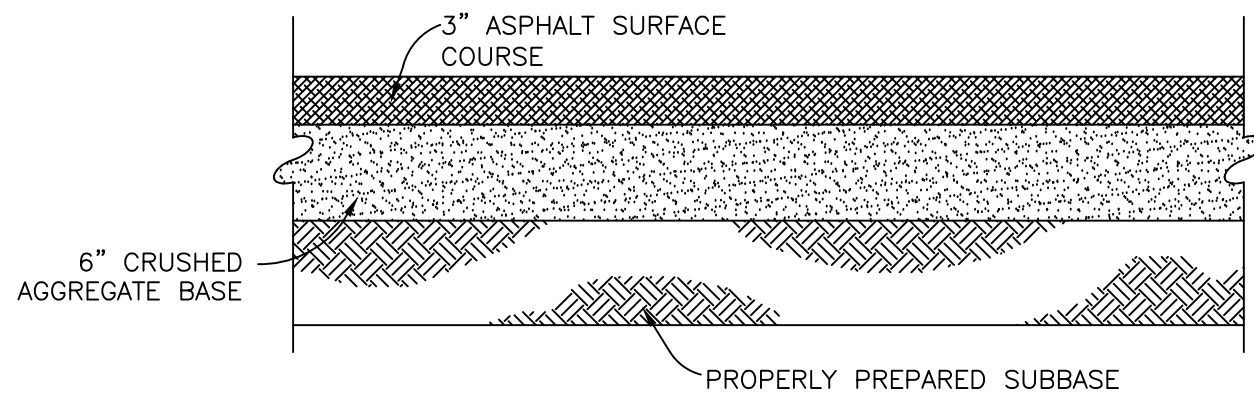
On-Site Curb & Gutter
SCALE: NONE



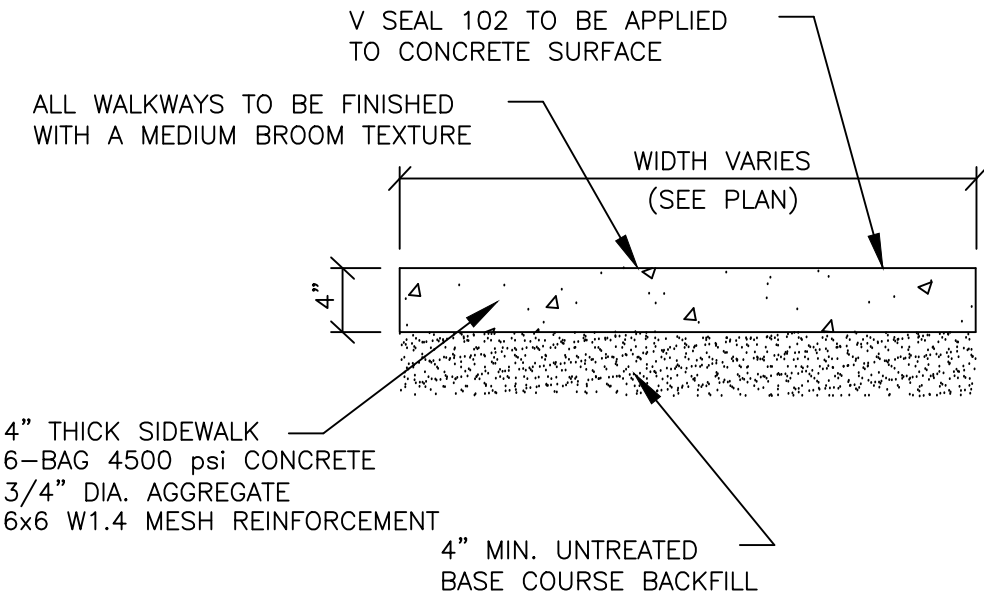
On-Site Outflow Curb & Gutter
SCALE: NONE



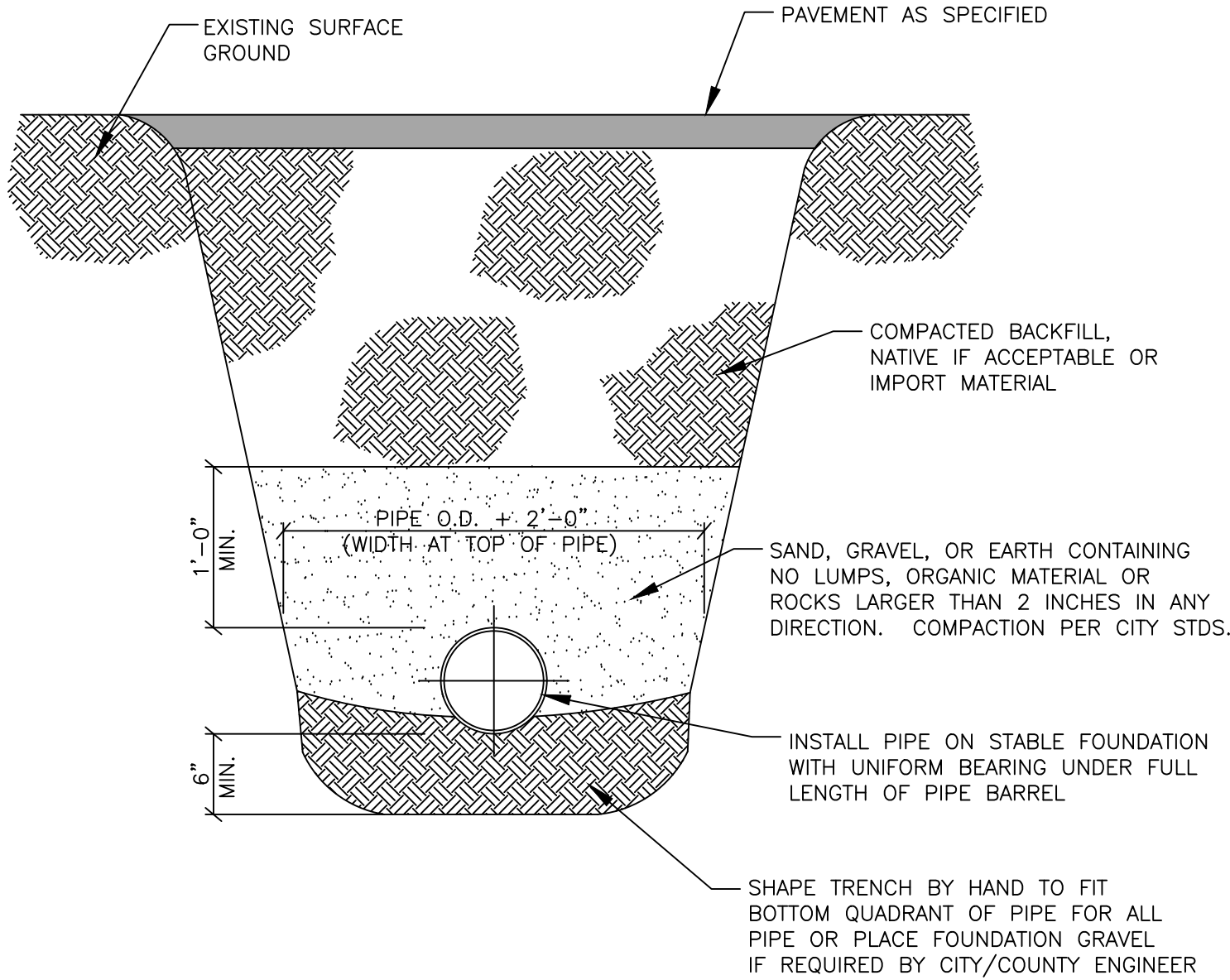
Trash Enclosure Concrete Pad
SCALE: NONE



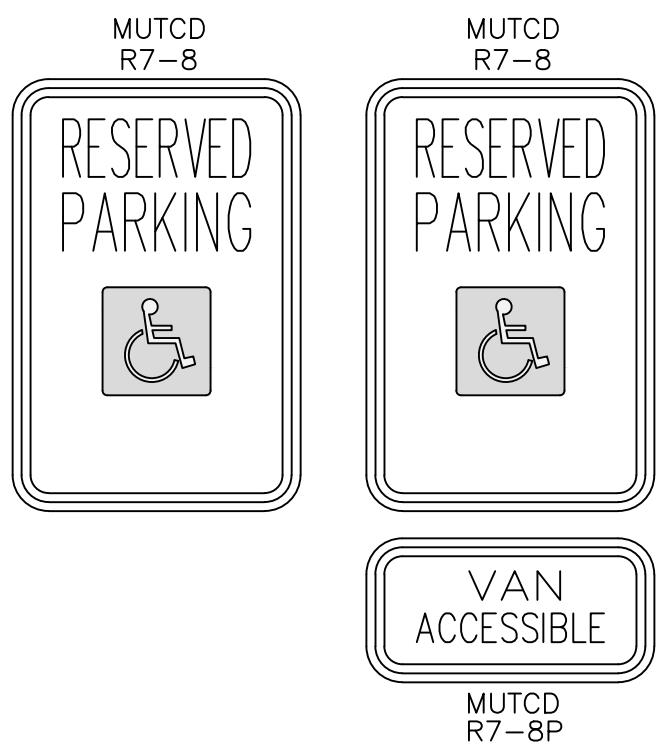
Typical On-Site Asphalt Paving
SCALE: NONE



Concrete Walkway
SCALE: NONE

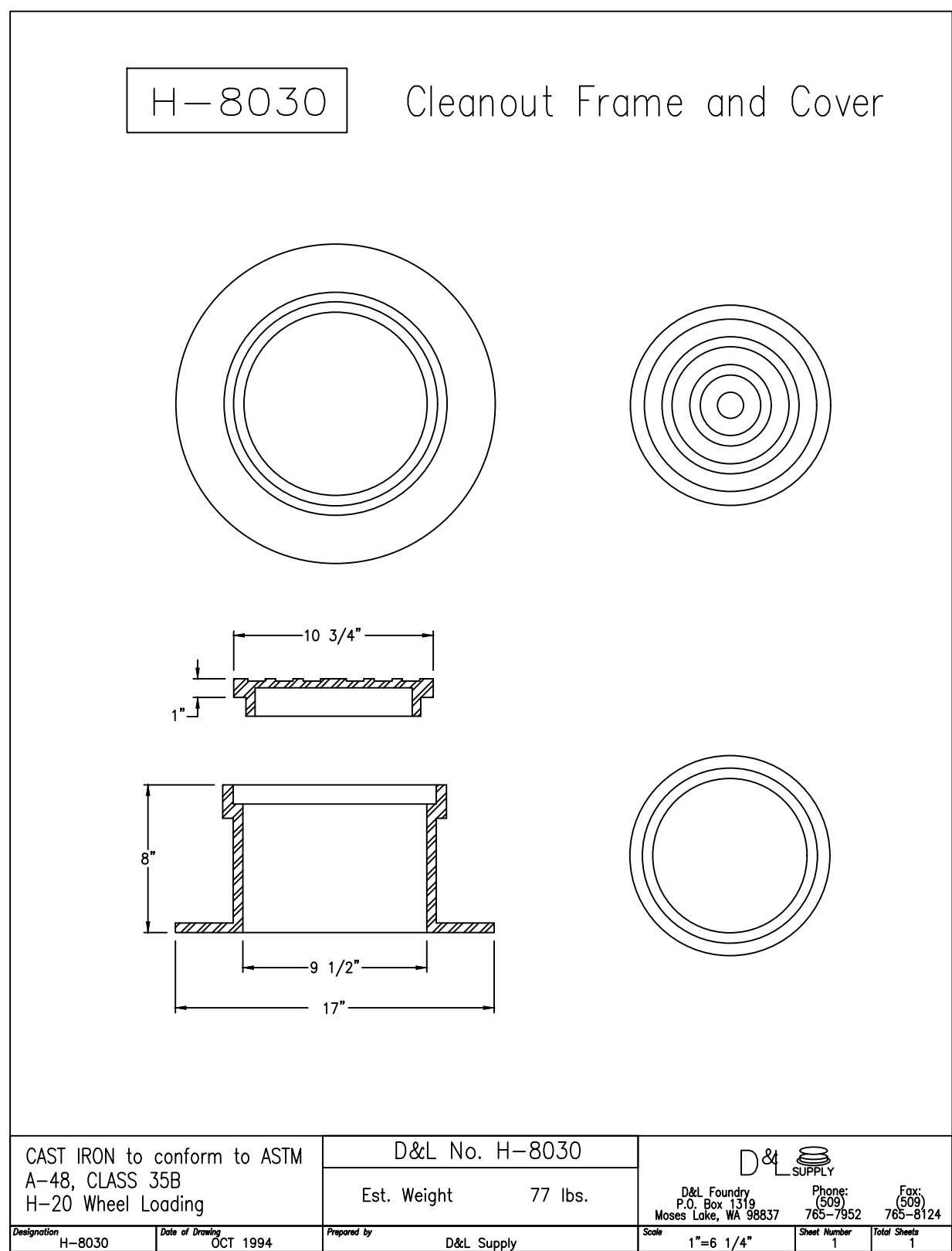


Typical On-Site Pipe Bed Section
SCALE: NONE



- NOTES:
- WHERE PARKING SPACES THAT ARE RESERVED FOR PERSONS WITH DISABILITIES ARE DESIGNATED TO ACCOMMODATE WHEELCHAIR VANS, A "VAN ACCESSIBLE" (R7-8P) PLAQUE SHALL BE MOUNTED BELOW THE R7-8 SIGN.
 - SIGNS SHALL BE MOUNTED A MINIMUM OF 60" FROM BOTTOM OF SIGN TO TOP OF SIDEWALK.
 - SIGNS TO MEET ALL STATE AND LOCAL REGULATIONS.

ADA Parking Signage



NOTICE TO CONTRACTOR:
ON ALL SECTIONS, REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT, GEOTECHNICAL REPORT PREPARED BY AGECE DATED OCTOBER 6, 2020. THIS REPORT IS TO GOVERN & CONTROL.

Notice To Contractors:

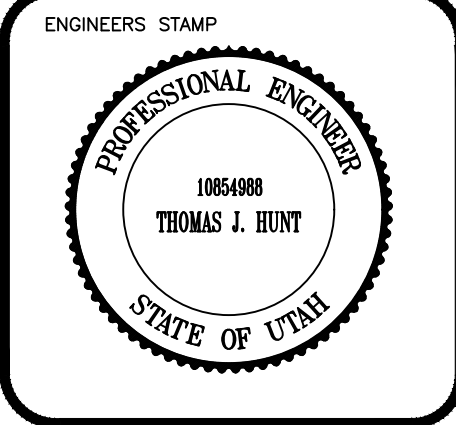
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

HUNT ENGINEERING, LLC
HUNT ENGINEERING, LLC
579 West Applewood Dr.
Centerville, UT 84014
C. 801.864.4724
thomas.hunt@hunt-engineering.com

West Point Pad A
279 North 2000 West
West Point, UT

Civil Details

Revisions	Date



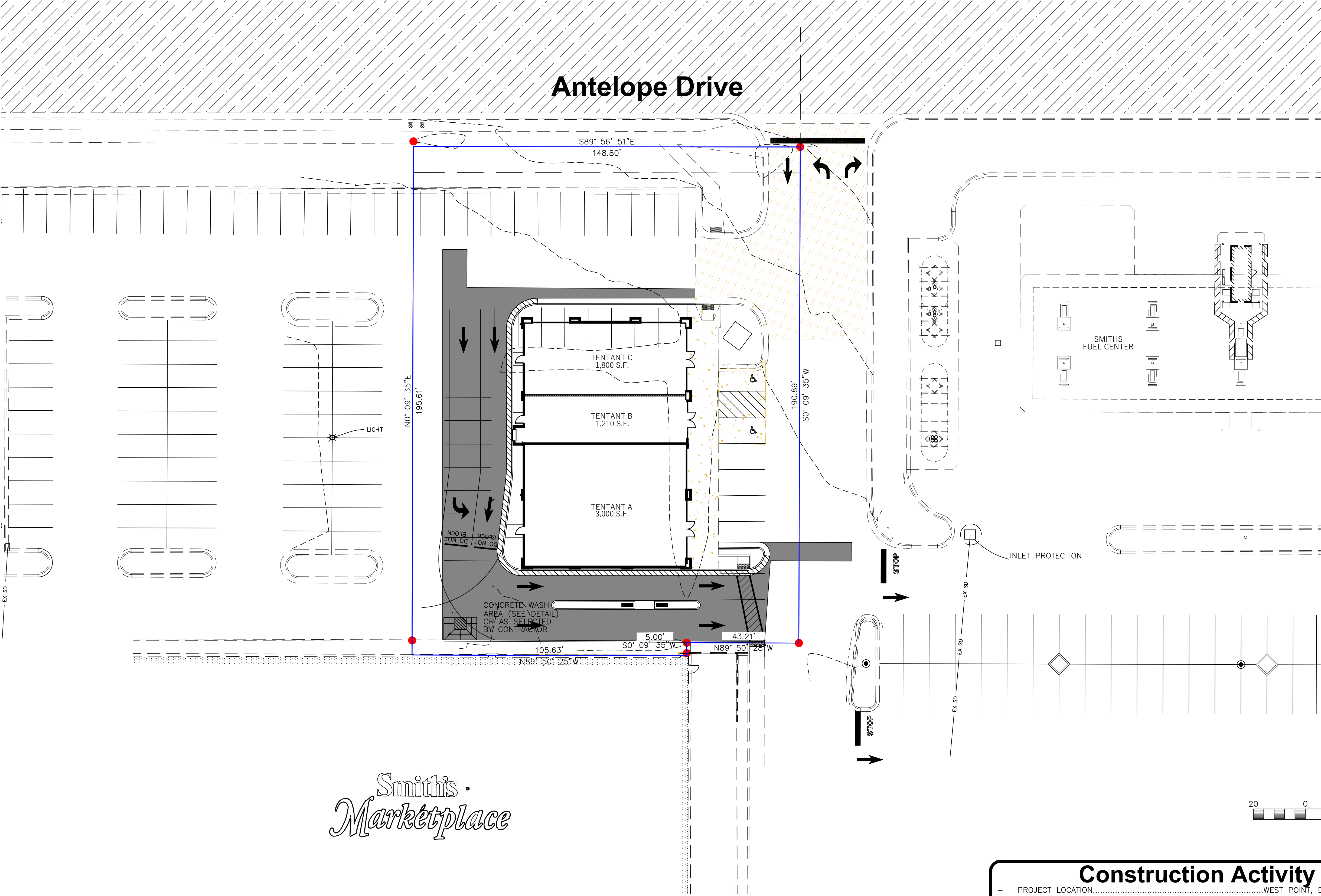
PROJECT INFO.
Engineer: T. HUNT
Drafter: T. HUNT
Start Date: 12/22/2020
Name: West Point Pad A

SHEET	8
6	SHEETS

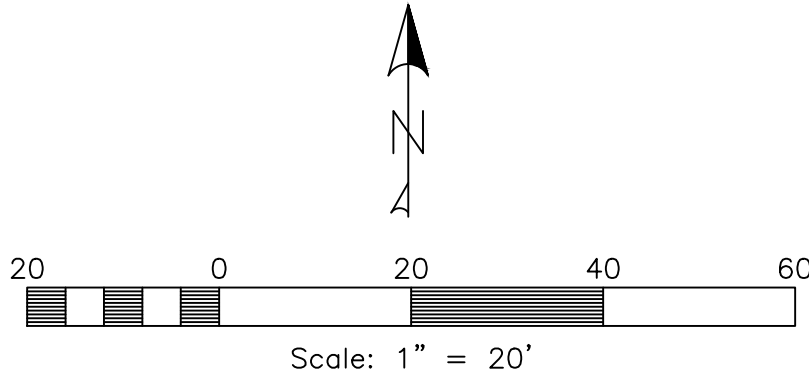
West Point Pad A

STORM WATER POLLUTION PREVENTION PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN
WEST POINT CITY, DAVIS COUNTY, UTAH
DECEMBER, 2020



Smith's
Marketplace



Construction Activity Schedule

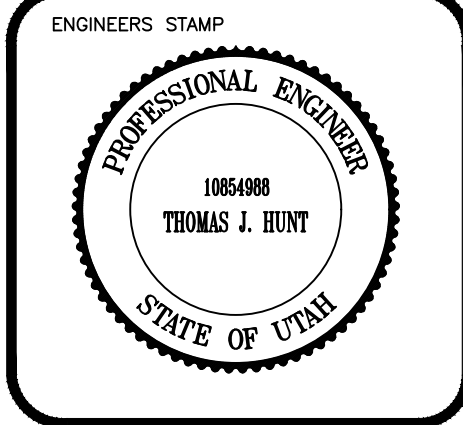
- PROJECT LOCATION.....WEST POINT, DAVIS COUNTY, UT
- PROJECT BEGINNING DATE.....MARCH 2021
- BMP'S DEPLOYMENT DATE.....MARCH 2021
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....TBD
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

HUNT
ENGINEERING, LLC
HUNT ENGINEERING, LLC
6619 Willow Creek Rd
Mountain Green, UT 84050
C. 801.864.4724
thomas.hunt@hunt-engineering.com

West Point Pad A
279 North 2000 West
West Point, UT

SWPPP Exhibit

Revisions	Date



PROJECT INFO.

Engineer: T. HUNT

Drafter: T. HUNT

Start Date: 12/22/2020

Name: West Point Pad A

SHEET	8
7	SHEETS

Notes:

1.

AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
2.

THE CONTRACTOR SHALL REMOVE LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, FROM THE SITE ON A DAILY BASIS, OR AS A MINIMUM, PRIOR TO ANY ANTICIPATED STORM EVENT; OR OTHERWISE PREVENT SUCH MATERIAL FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
3.

CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLE WILL ENTER OR EXIT THE SITE. VEHICLE TRACKING CONTROL FACILITIES, SILT FENCE, AND INLET PROTECTION WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY FOR PHASING OF THE WORK, UNTIL ALL WORK IS COMPLETE.
4.

CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING STREETS CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, THE CONTRACTOR SHALL REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT IMMEDIATELY TO MINIMIZE OFF SITE IMPACTS. AT NO TIME SHALL SEDIMENT BE WASHED DOWN UNPROTECTED INLETS INTO THE PUBLIC STORM SEWER SYSTEM.
5.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED, AND SHALL REMOVE SEDIMENT FROM SEDIMENT TRAPS OR PONDS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6.

EXCEPT AS PROVIDED IN (A), (B), AND (C) BELOW, THE CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

(A)WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(B)WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE A TO BE INITIATED ON THAT PORTION OF THE SITE.

(C) IN ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 0–10 INCHES), SEMI-ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 10–20 INCHES), AND AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL ARID CONDITIONS, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
7.

EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE, EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
8.

ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED OR SEEDED PER PLAN.
9.

ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORSEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE LOCAL JURISDICTION MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ANY NECESSARY CHANGES AND POSTING ANY UPDATES TO THE PLANS AND RECORDING CHANGES IN THE STORMWATER POLLUTION PLAN DOCUMENT.
10.

THIS PLAN IS ONLY TO BE USED FOR INSTALLATION OF EROSION CONTROL FACILITIES. DO NOT USE THIS PLAN FOR FINISH GRADING OR STORM SEWER CONSTRUCTION.
11.

THE CONTRACTOR SHALL AMEND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHENEVER:

– THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN;

– INSPECTIONS OR INVESTIGATIONS BY SITE OPERATORS, LOCAL, STATE, OR FEDERAL OFFICIALS INDICATE THE SWPPP IS PROVING INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART III.D.1 OF THE PERMIT, OR IS OTHERWISE NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY; AND

– A NEW CONTRACTOR AND/OR SUBCONTRACTOR WILL IMPLEMENT A MEASURE OF THE SWPPP IN ORDER TO IDENTIFY THEIR ROLE AND RESPONSIBILITY FOR THE SWPPP. AMENDMENTS TO THE PLAN MAY BE REVIEWED BY THE EXECUTIVE SECRETARY (OR AUTHORIZED REPRESENTATIVE) IN THE SAME MANNER AS PART III.B.2 OF THE PERMIT.
12.

THE CONTRACTOR SHALL KEEP A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, AND INCLUDE THIS INFORMATION IN THE SWPPP.
13.

THE CONTRACTOR SHALL NOTE THAT FLUCTUATIONS OF THE GROUNDWATER TABLE MAY OCCUR DUE TO VARIOUS FACTORS NOT EVIDENT AT THE TIME OF PREPARATION OF THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DEWATERING PERMITS REQUIRED FOR THE PROJECT.
14.

THE PROJECT SITE IN IN FLOOD ZONE "X" WHICH DENOTES AREAS OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD.
15.

THERE ARE NO SURFACE WATER FEATURES LOCATED ON THIS SITE.
16.

THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEES BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR SHALL CONTAIN AND TREAT ALL LEAKS AND SPILLS FROM ANY EQUIPMENT OR FACILITIES.
17.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE. CONCRETE TRUCK WASHING SHALL BE DONE AT THE LOCATION SHOWN.
18.

MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
19.

FUGITIVE DUST BLOWING FROM THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
20.

NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
21.

ALL MEASURES PRESENTED IN THE SWPPP SHALL BE INITIATED AS SOON AS PRACTICABLE.
22.

IF THE GRAVEL CONSTRUCTION ENTRANCES ARE NOT EFFECTIVE IN REMOVING THE MAJORITY OF DIRT OR MUD FROM THE TIRES OF THE CONSTRUCTION VEHICLES, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER THE PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
23.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
24.

IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
25.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
26.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
27.

ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAIN CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
28.

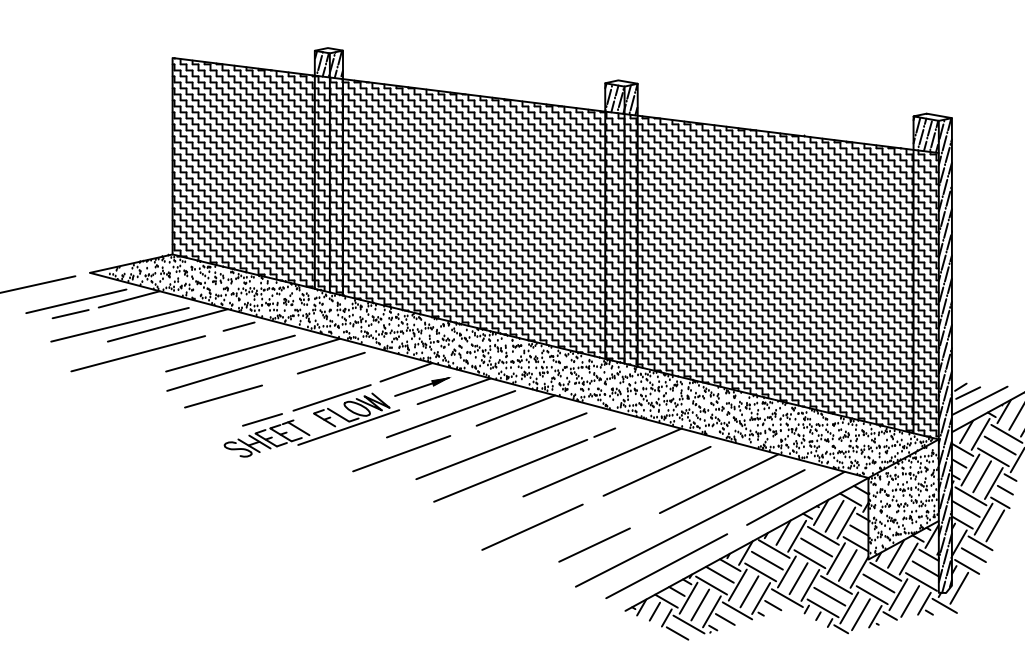
THE CONTRACTOR SHALL POST THESE PLANS AND THE SWPPP IN THE JOB TRAILER, LOG ALL CHANGES, AND UPDATE PLANS AND THE SWPPP AS REQUIRED.
29.

THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPS) AND CONFORM TO ALL CITY AND STATE REQUIREMENTS FOR EROSION CONTROL AND STORM WATER PROTECTION.
30.

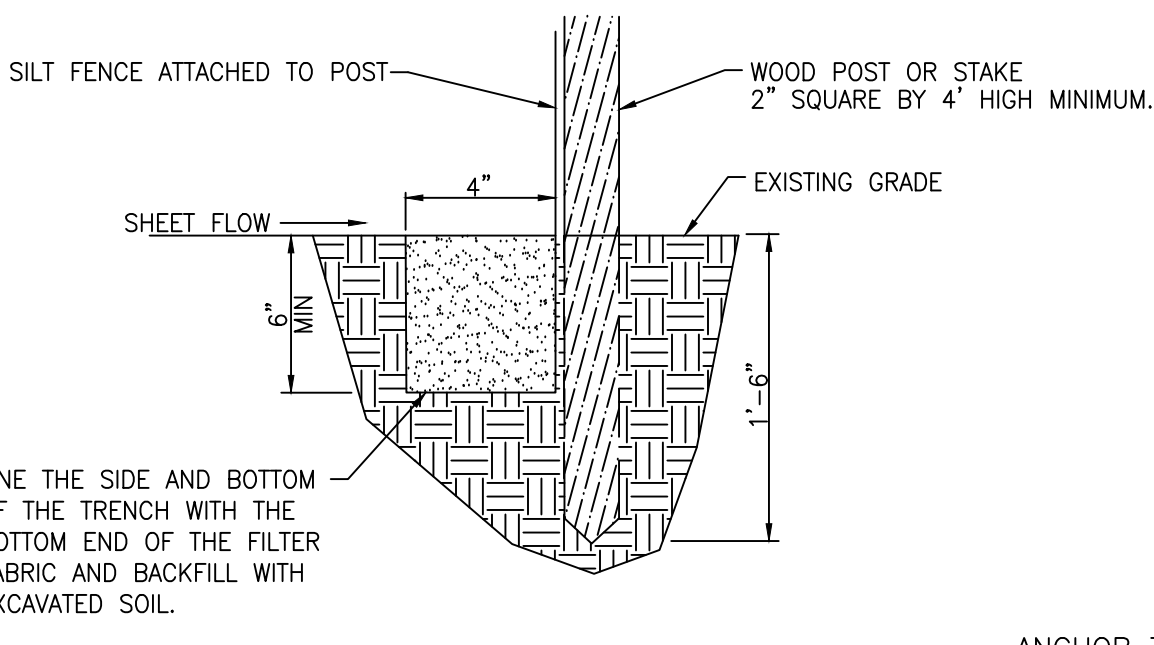
IN THE UNLIKELY EVENT THAT A PHASE DOES NOT IMPROVE ACCESS AND/OR AN ACCESS ROAD IS CONSTRUCTED, BEST MANAGEMENT PRACTICES SHALL BE APPLIED IN ANY TEMPORARY OR PERMANENT STRUCTURES OR ACCESS POINTS.
31.

THE CONTRACTOR SHALL COMPLETE WEEKLY INSPECTION FORMS FOR THE CITY’S RECORDS, COVERING WEEKLY INSPECTIONS AND MAINTENANCE.
32.

EXISTING PERIMETER FENCING TO ACT AS CONSTRUCTION FENCING. IF PERIMETER FENCING IS REMOVED, A CONSTRUCTION SHALL BE INSTALLED UNTIL A NEW FENCE OR WALL IS CONSTRUCTED.



Perspective View



Section

Silt Fence Notes:

1.

WHERE POSSIBLE, LAYOUT THE SILT FENCE 5' TO 10' BEYOND THE TOE OF THE SLOPE.
2.

ALIGN THE FENCE ALONG THE CONTOUR AS CLOSE AS POSSIBLE.
3.

WHEN EXCAVATING THE TRENCH, USE MACHINERY THAT WILL PRODUCE NO MORE THAN THE DESIRED DIMENSIONS.
4.

AVOID USING JOINTS ALONG THE FENCE AS MUCH AS POSSIBLE. IF A JOINT IS NECESSARY, SPLICE THE SILT FENCE AT A POST WITH A 6" OVERLAP AND SECURELY FASTEN BOTH ENDS TO THE POST.
5.

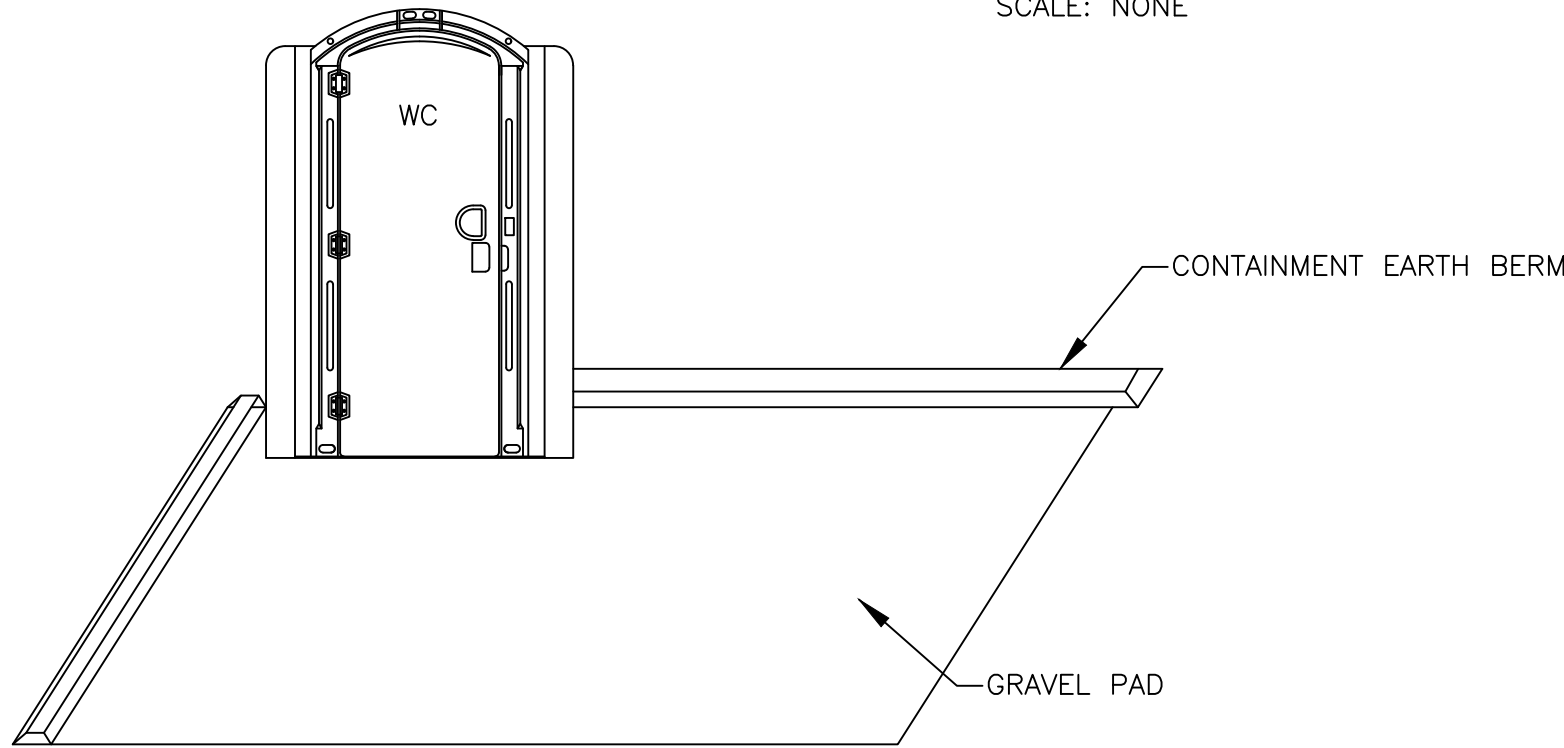
MAINTAIN A PROPERLY FUNCTIONING SILT FENCE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL DISTURBED AREAS HAVE BEEN VEGETATED.
6.

REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA.
7.

WHEN PLACING FENCE ON SLOPES STEEPER THAN 2:1 SEE SWPPP REPORT.

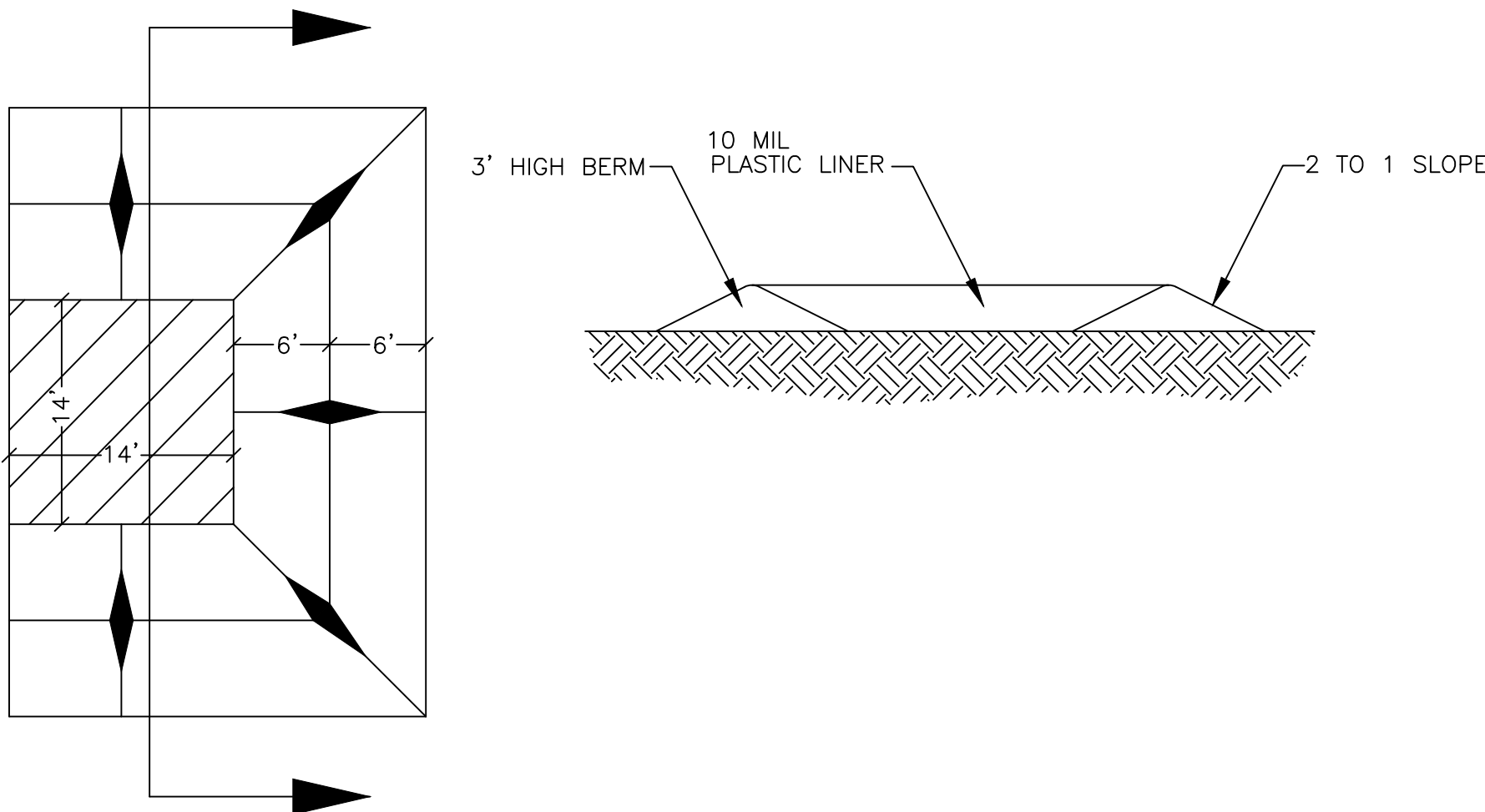
Silt Fence Detail

SCALE: NONE



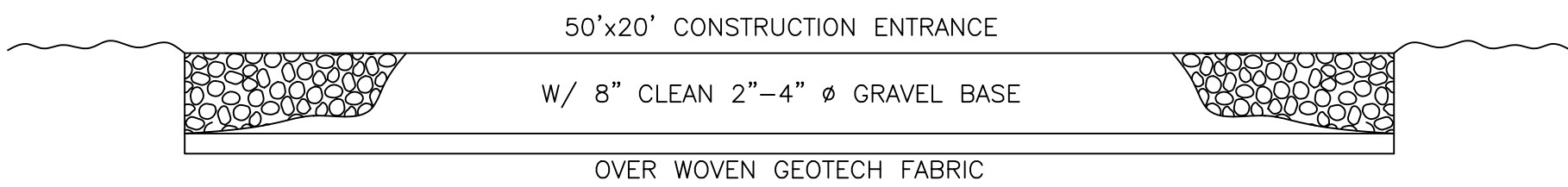
Portable Toilet

SCALE: NONE

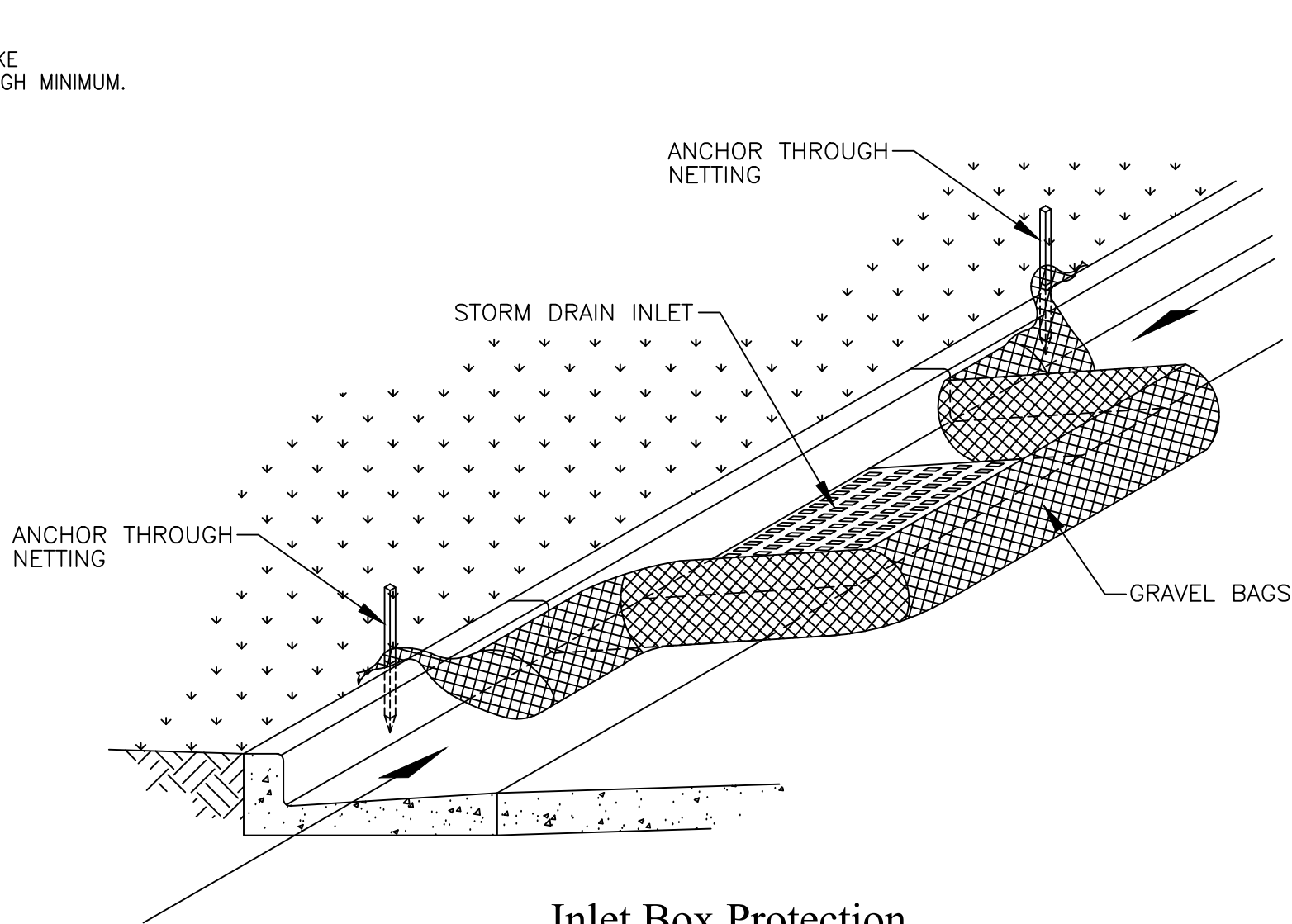


Concrete Washout Area
w/ 10 mil Plastic Liner

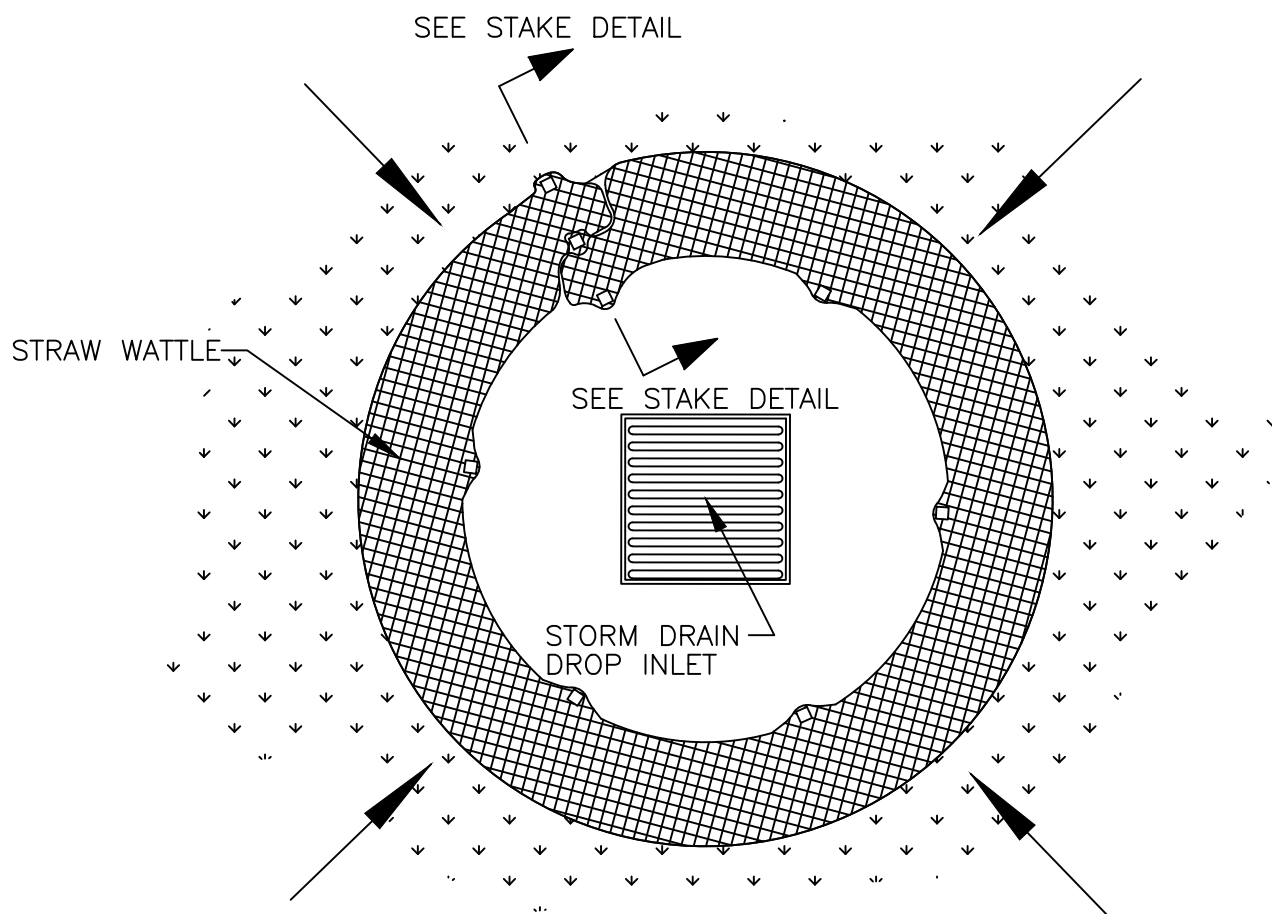
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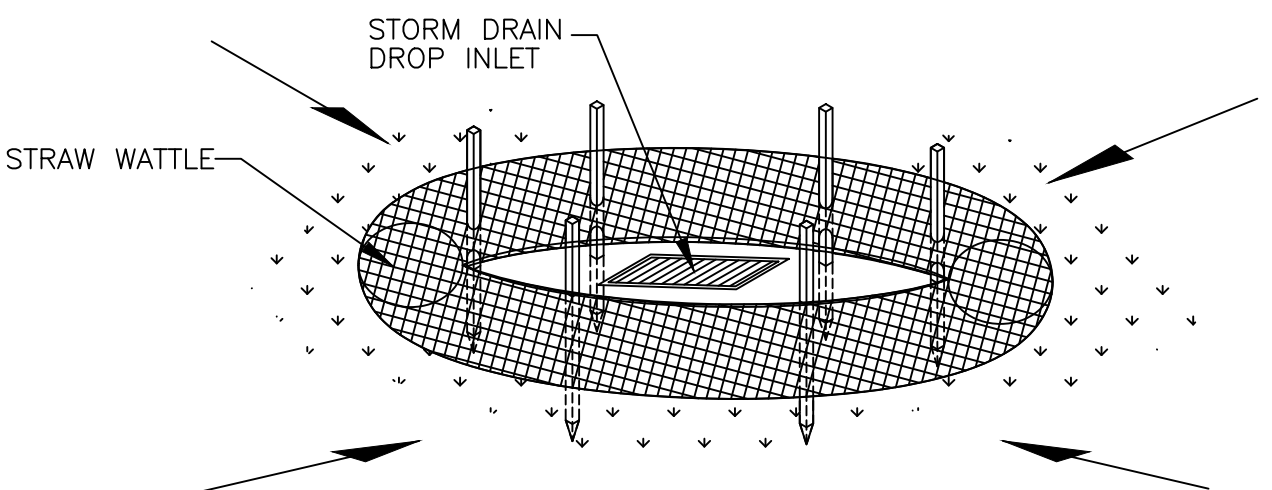
Cross Section 50' x 20' Construction Entrance



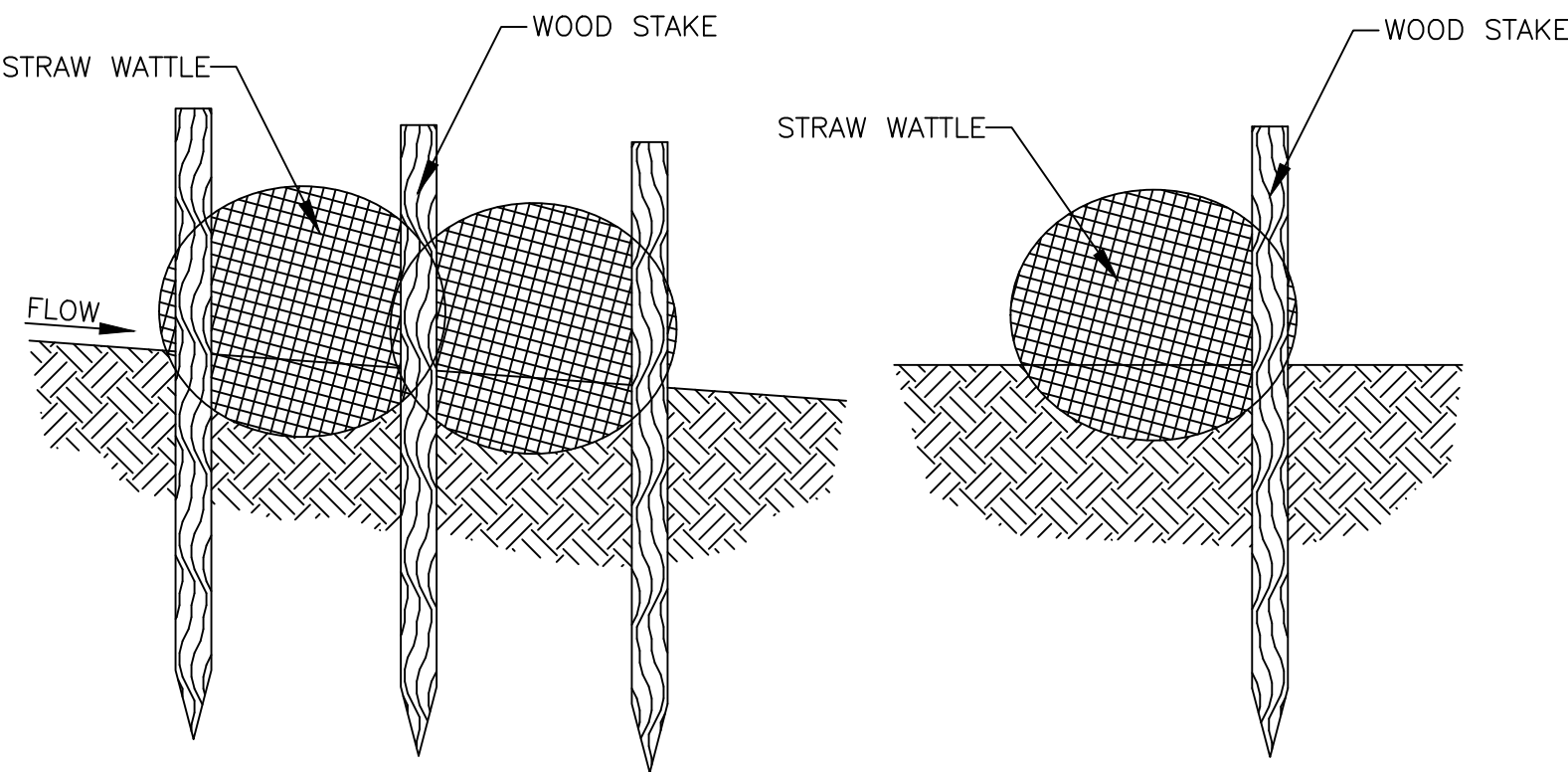
Inlet Box Protection



Plan View



Drop Inlet Protection



HE

HUNT

ENGINEERING, LLC

HUNT ENGINEERING, LLC

579 West Applewood Dr.

Centerville, UT 84014

C. 801.864.4724

thomas.hunt@hunt-engineering.com

West Point Pad A
279 North 2000 West
West Point, UT

SWPPP Details

Revisions	Date

ENGINEERS' STAMP

PROFESSIONAL ENGINEER

1005080

THOMAS J. HUNT

STATE OF UTAH

PROJECT INFO.

Engineer:

T. HUNT

Drafter:

T. HUNT

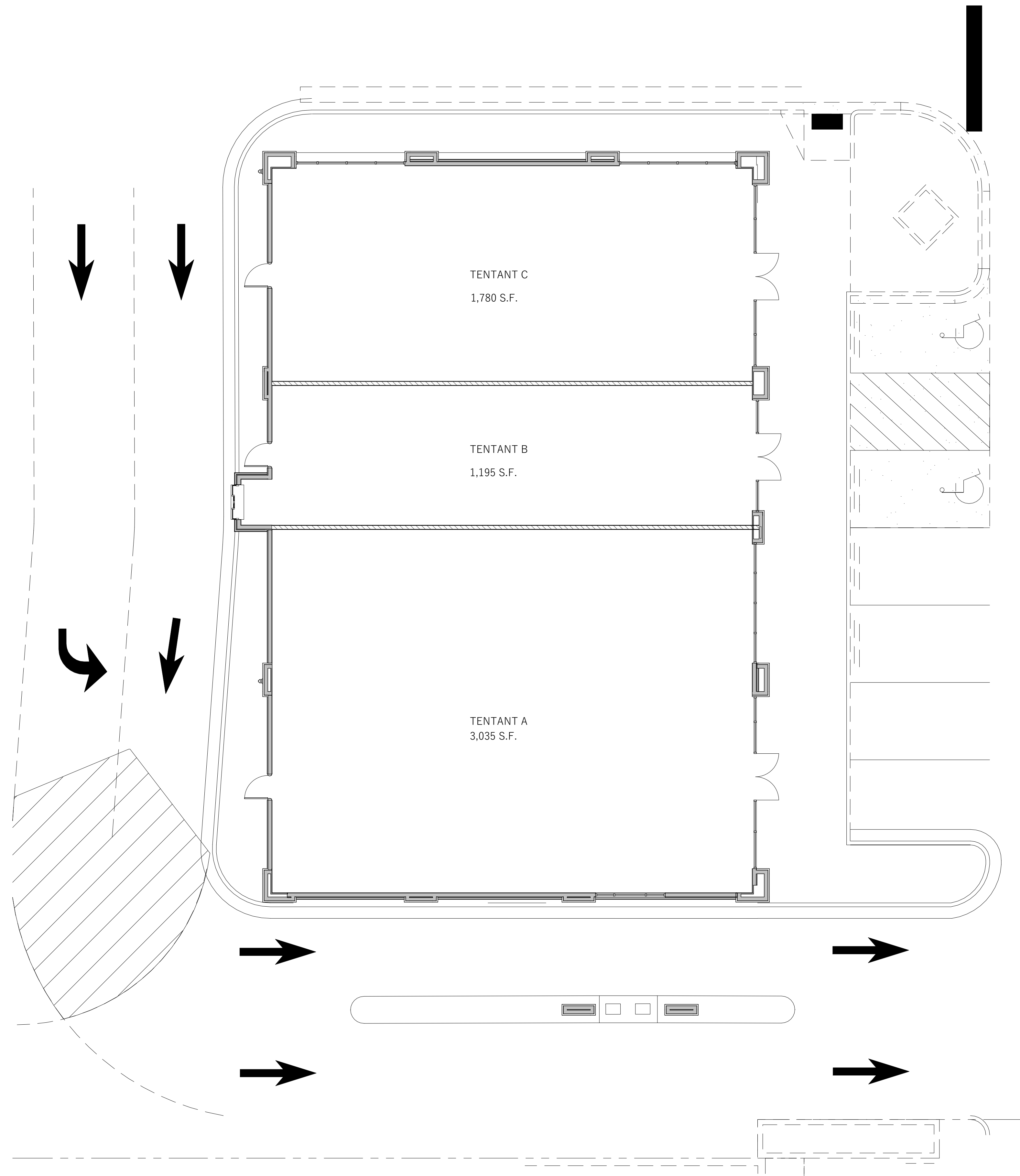
Start Date:

12/22/2020

Name:

West Point Pad A

SHEET	8
8	SHEETS

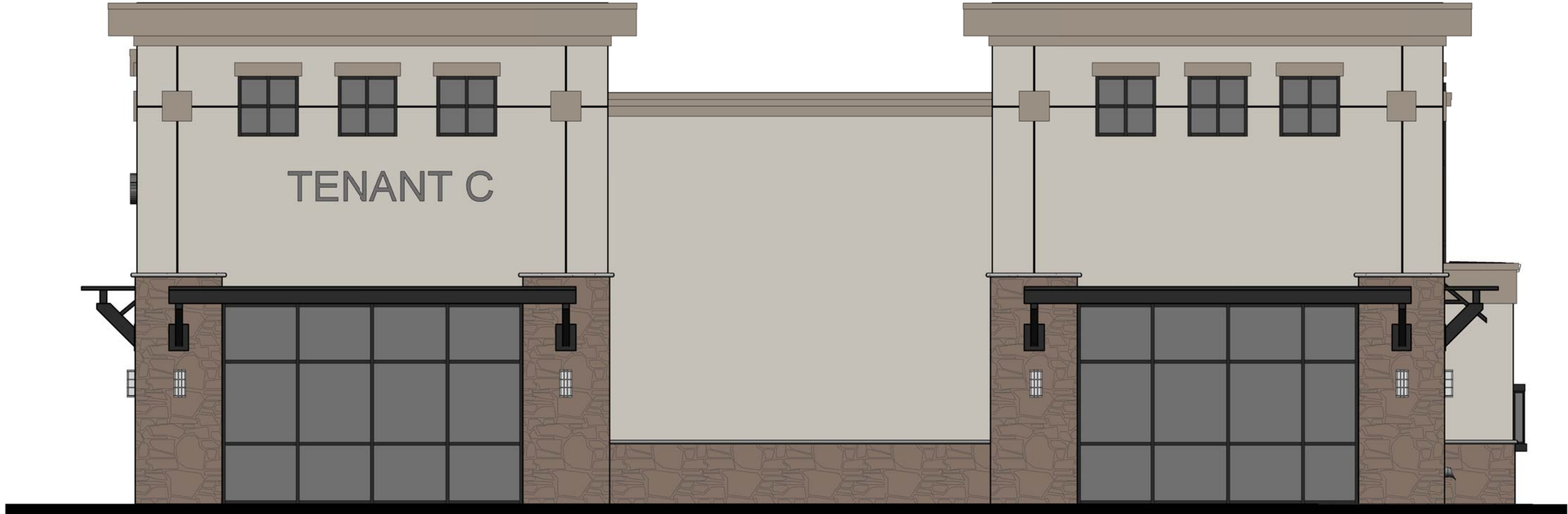


1
A0.2

SITE PLAN
1/8" = 1'-0"

A0.2
SITE PLAN
THE POINT PAD A





$\frac{2}{A2.1}$

RIGHT ELEVATION
 $\frac{3}{16}" = 1'-0"$



$\frac{1}{A2.1}$

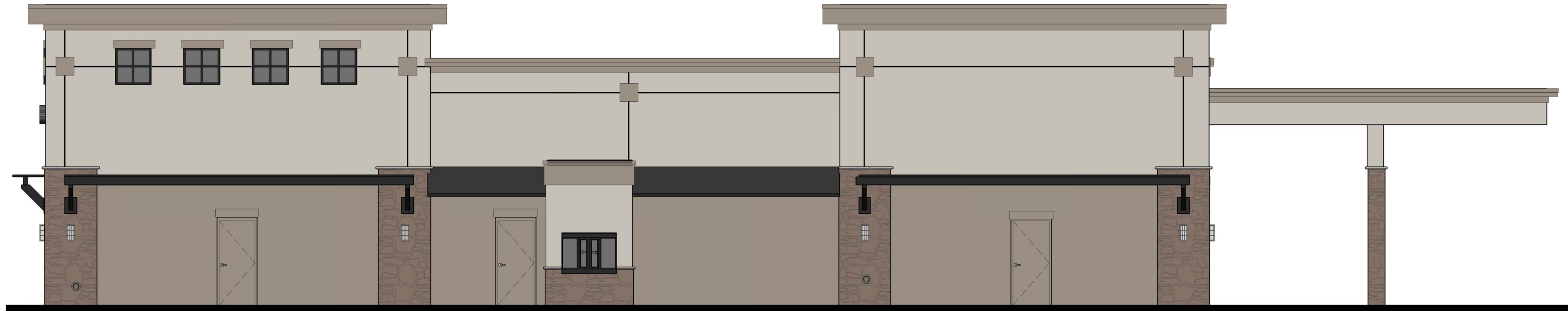
FRONT ELEVATION
 $\frac{3}{16}" = 1'-0"$



2
A2.2

LEFT ELEVATION

3/16" = 1'-0"



1
A2.2

BACK ELEVATION

3/16" = 1'-0"



1
A2.5

PERSPECTIVE

City Council Staff Report

Subject: Christmas Lights Discussion
Author: Kyle Laws
Department: Executive
Date: April 6, 2021



Background

During the City Council Visioning and Strategy Session there was a brief discussion regarding Christmas lights and some members of the Council expressed a desire to do more, to be more festive, and to provide a little more holiday spirit to the community. The Council requested this be brought back at a future work session for further discussion and consideration.

Analysis

Currently, the City budgets for the installation of lights at City Hall and on some of the trees, shrubs and bushes at the building. We also have a budget for the Lighting Ceremony event which includes Santa and a fireworks show. The current budget for all Christmas decorations and events is about \$7,600 (\$4,600 for lights, 3,000 for the City Hall Lighting Ceremony event).

During the Visioning and Strategy Session in January, the Council discussed increasing the budget and possibly expanding the locations for Christmas lights and decorations. The Roy City lights were brought up as an amazing example, although it was agreed that we need not to go that far in our expanded decorations. Many things were lightly touched on such as budget, resources, staff time, etc.

This will be an open discussion of the City Council to give direction to Staff on what changes, if any, should be made to the budget and Christmastime lights and decorations.

Recommendation

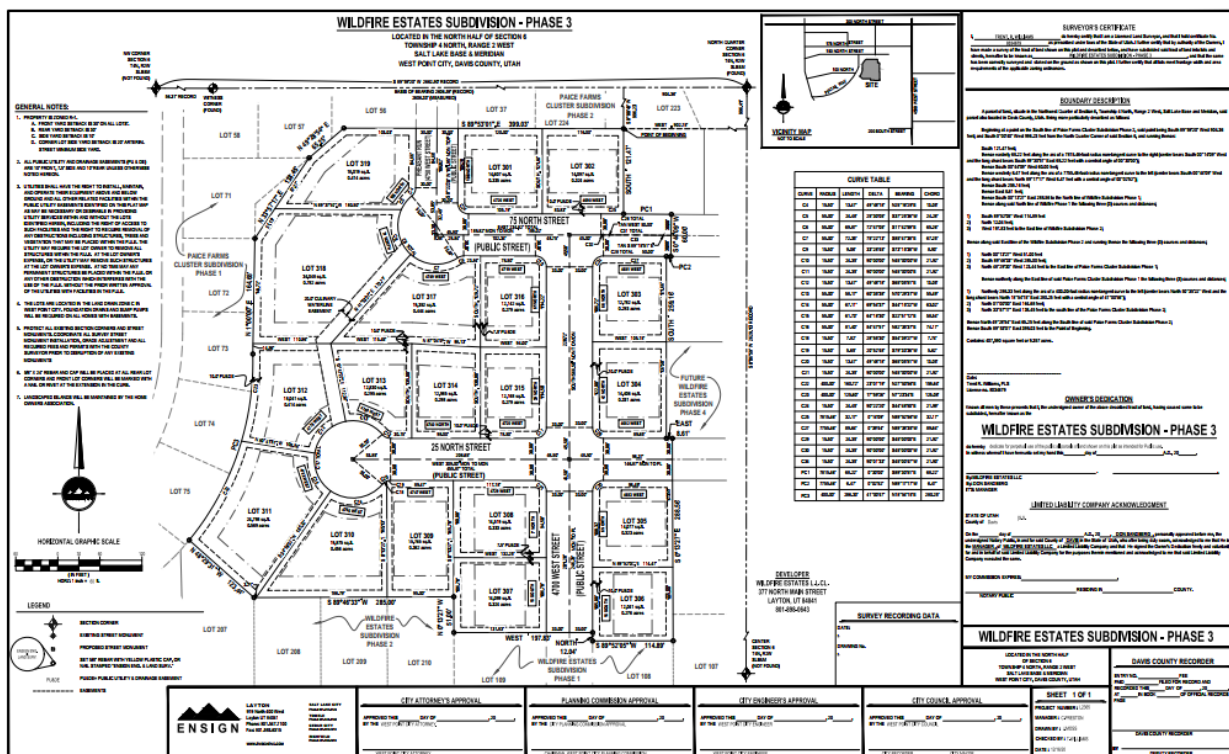
No action is required at this time.

Significant Impacts

None

Attachments

None



Recommendation

The Planning Commission recommended approval for Wildfire Estates Phase 3 Final Plat.

Significant Impacts

There are no significant impacts to this project.

Attachments

Plans



Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

WILDFIRE ESTATES SUBDIVISION

PHASE 3

200 SOUTH 4700 WEST
WEST POINT CITY, UTAH

FOR APPROVAL

DATE PRINTED
December 14, 2020

INDEX OF DRAWINGS

- 1 OF 1 SUBDIVISION PLAT
- C-001 GENERAL NOTES
- C-100 GRADING PLAN
- C-101 DRAINAGE PLAN
- C-102 STORM DRAIN CALCULATIONS
- C-200 UTILITY PLAN
- C-300 EROSION CONTROL PLAN
- PP-1 4700 WEST STREET PLAN AND PROFILE
- PP-2 PHEASANT RUN (4750 WEST STREET) PLAN AND PROFILE
- PP-3 75 NORTH STREET PLAN AND PROFILE
- PP-4 25 NORTH STREET PLAN AND PROFILE
- C-400 DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

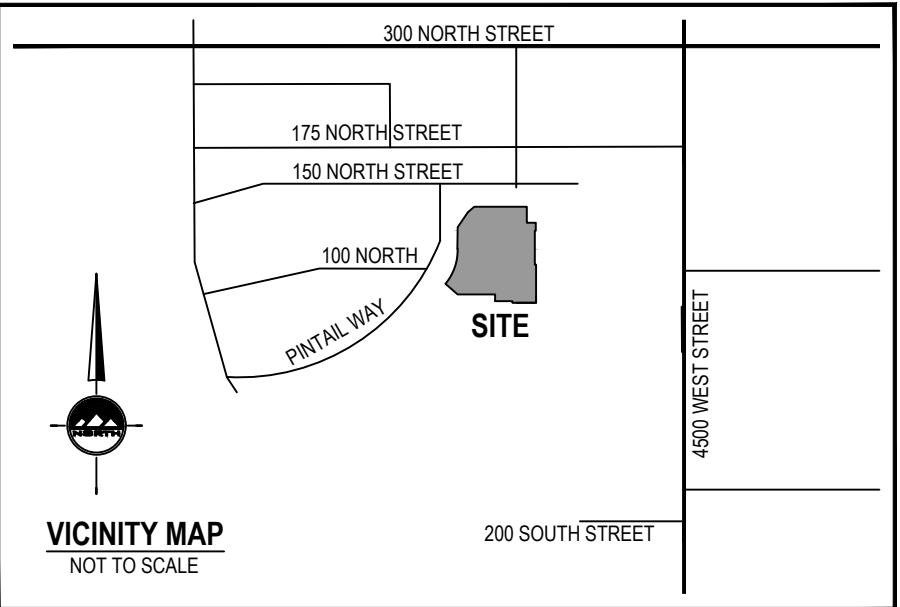
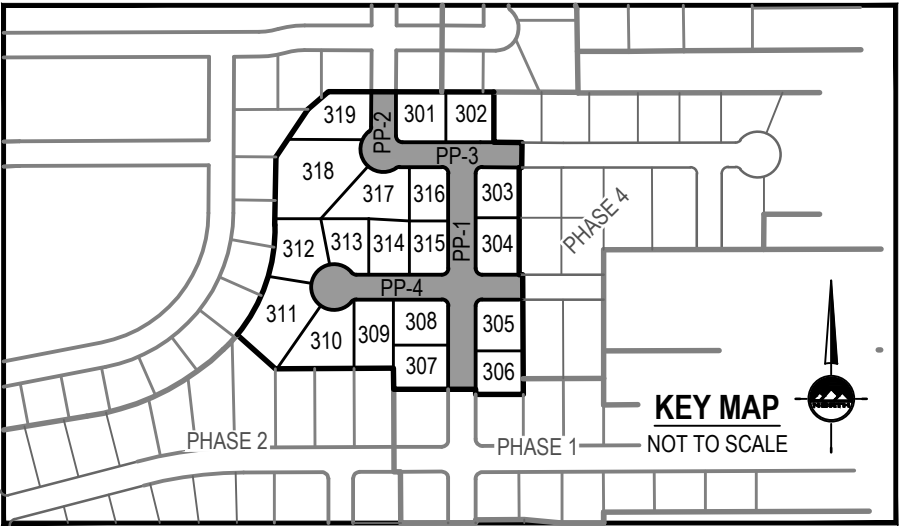
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

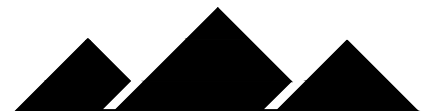


GENERAL NOTES

- ALL WORK SHALL CONFORM TO WEST POINT CITY STANDARDS AND SPECIFICATIONS, AND WHERE APPLICABLE DAVIS AND WEBER CANAL COMPANY STANDARDS AND SPECIFICATIONS, HOOPER WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS AND HOOPER IRRIGATION COMPANY STANDARDS AND SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = NORTH QUARTER CORNER SECTION 6, T4N, R2W SALT LAKE BASE & MERIDIAN ELEV. = 4236.90

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____
CITY ENGINEER



THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.866.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
BARLOW REALTY
377 NORTH MAIN STREET
LAYTON, UTAH 84041

CONTACT:
DUNCAN BARLOW
PHONE: 801-898-0643

WILDFIRE ESTATES SUBDIVISION
PHASE 3
200 SOUTH 4700 WEST
WEST POINT, UTAH



NO.	DATE	REASON	BY
1		FOR REVIEW	
2			
3			
4			
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7			
8			

COVER

PROJECT NUMBER
L2365

PRINT DATE
12/14/20

DRAWN BY
J.MOSS

CHECKED BY
T.SHAFER

PROJECT MANAGER
C.PRESTON

WILDFIRE ESTATES SUBDIVISION - PHASE 3

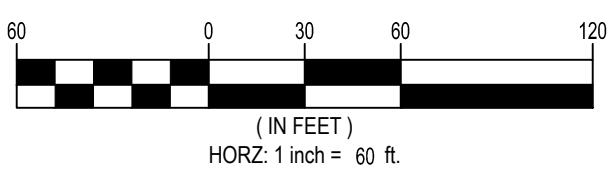
LOCATED IN THE NORTH HALF OF SECTION 6
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
WEST POINT CITY, DAVIS COUNTY, UTAH

GENERAL NOTES:

- PROPERTY IS ZONED R-1.
A. FRONT YARD SETBACK IS 30' ON ALL LOTS.
B. REAR YARD SETBACK IS 30'.
C. SIDE YARD SETBACK IS 10'.
D. CORNER LOT SIDE YARD SETBACK IS 20' ARTERIAL STREET MINIMUM SIDE YARD.
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU & DE) ARE 10' FRONT, 7.5' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- THE LOTS ARE LOCATED IN THE LAND DRAIN ZONE C IN WEST POINT CITY. FOUNDATION DRAINS AND SUMP PUMPS WILL BE REQUIRED ON ALL HOMES WITH BASEMENTS.
- PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY SURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS
- 5/8" X 24" REBAR AND CAP WILL BE PLACED AT ALL REAR LOT CORNERS AND FRONT LOT CORNERS WILL BE MARKED WITH A NAIL OR RIVET AT THE EXTENSION IN THE CURB.
- LANDSCAPED ISLANDS WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.



HORIZONTAL GRAPHIC SCALE



LEGEND

- SECTION CORNER
- EXISTING STREET MONUMENT
- PROPOSED STREET MONUMENT
- SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENGIN ENG. & LAND SURV."
- PU&DE
- PU&DE- PUBLIC UTILITY & DRAINAGE EASEMENT
- EASEMENTS



LAYTON
919 North 400 West
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315
WWW.ENSIGNENG.COM

SALT LAKE CITY
Phone: 801.250.0293
TOOELE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.855.1453
RICHFIELD
Phone: 435.896.2983

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE WEST POINT CITY ATTORNEY.

WEST POINT CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE CITY PLANNING COMMISSION APPROVAL

CHAIRMAN, WEST POINT CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE WEST POINT CITY ENGINEER

WEST POINT CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE WEST POINT CITY COUNCIL

CITY RECORDER CITY MAYOR

WILDFIRE ESTATES SUBDIVISION - PHASE 3

LOCATED IN THE NORTH HALF
OF SECTION 6
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
WEST POINT CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE
PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____, 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS

DAVIS COUNTY RECORDER

BY _____ DEPUTY RECORDER

SHEET 1 OF 1

PROJECT NUMBER : L2365
MANAGER : C.PRESTON
DRAWN BY : J.MOSS
CHECKED BY : T.WILLIAMS
DATE : 12/16/20

SURVEYOR'S CERTIFICATE

I, TRENT R. WILLIAMS, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. 8034679, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as WILDFIRE ESTATES SUBDIVISION - PHASE 3, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Northwest Quarter of Section 6, Township 4 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Davis County, Utah. Being more particularly described as follows:

Beginning at a point on the South line of Paice Farms Cluster Subdivision Phase 2, said point being South 89°59'20" West 904.36 feet, and South 0°00'40" West 996.23 feet from the North Quarter Corner of said Section 6, and running thence:

South 121.47 feet;
thence easterly 68.22 feet along the arc of a 7815.46-foot radius non-tangent curve to the right (center bears South 00°14'09" West and the long chord bears South 89°30'51" East 68.22 feet with a central angle of 00°30'00");
thence South 00°44'09" West 60.00 feet;
thence westerly 6.47 feet along the arc of a 7755.46-foot radius non-tangent curve to the left (center bears South 00°44'09" West and the long chord bears North 89°17'17" West 6.47 feet with a central angle of 00°02'52");
thence South 259.16 feet;
thence East 8.61 feet;
thence South 00°13'27" East 288.56 to the North line of Wildfire Subdivision Phase 1;
thence along said North line of Wildfire Phase 1 the following three (3) courses and distances;

- South 89°52'05" West 114.89 feet
- North 12.04 feet;
- West 197.83 feet to the East line of Wildfire Subdivision Phase 2;

thence along said East line of the Wildfire Subdivision Phase 2 and running thence the following three (3) courses and distances;

- North 00°13'27" West 51.00 feet
- South 89°46'33" West 285.00 feet;
- North 49°29'30" West 123.44 feet to the East line of Paice Farms Cluster Subdivision Phase 1;

thence northerly along the East line of said Paice Farms Cluster Subdivision Phase 1 the following three (3) courses and distances;

- Northerly 286.33 feet along the arc of a 400.00-foot radius non-tangent curve to the left (center bears North 50°35'22" West and the long chord bears North 18°54'15" East 280.25 feet with a central angle of 41°00'46");
- North 01°00'00" East 164.68 feet;
- North 33°57'17" East 138.45 feet to the south line of the Paice Farms Cluster Subdivision Phase 2;

thence North 49°28'54" East 65.25 feet along the South line of said Paice Farms Cluster Subdivision Phase 2;
thence South 89°53'01" East 399.03 feet to the Point of Beginning

Contains: 407,590 square feet or 9.357 acres.

Date:
Trent R. Williams, PLS
License no. 8034679

OWNER'S DEDICATION

Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as the

WILDFIRE ESTATES SUBDIVISION - PHASE 3

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use. In witness whereof I have hereunto set my hand this _____ day of _____, A.D., 20____

By: WILDFIRE ESTATES LLC
By: DON SANDBERG
IT'S: MANAGER

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of Davis

On the _____ day of _____, A.D., 20____, DON SANDBERG, personally appeared before me, the undersigned Notary Public, in and for said County of DAVIS in the State of Utah, who after being duly sworn, acknowledged to me that he is the MANAGER, of WILDFIRE ESTATES LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

NOTARY PUBLIC

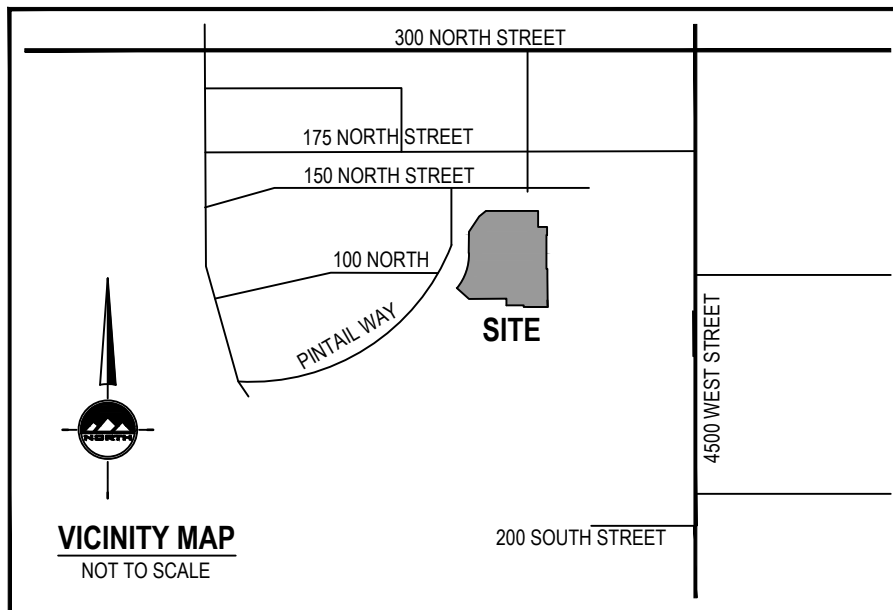
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C4	15.50'	13.47'	49°48'18"	N25°16'29"E	13.05'
C5	55.00'	24.48'	25°30'05"	S37°25'36"W	24.28'
C6	55.00'	69.87'	72°47'05"	S11°42'59"E	65.26'
C7	55.00'	72.35'	75°22'13"	S65°47'38"E	67.25'
C9	15.50'	9.06'	33°28'45"	S73°15'38"W	8.93'
C10	15.50'	24.35'	90°00'00"	N45°00'00"W	21.92'
C11	15.50'	24.35'	90°00'00"	N45°00'00"E	21.92'
C12	15.50'	13.47'	49°48'18"	S65°05'51"E	13.05'
C13	55.00'	58.17'	60°35'38"	N70°29'31"W	55.49'
C14	55.00'	67.11'	69°54'37"	S44°15'22"W	63.02'
C15	55.00'	61.73'	64°18'30"	S22°51'12"E	58.54'
C16	55.00'	81.40'	84°47'51"	N82°39'37"E	74.17'
C18	15.50'	7.82'	28°55'30"	S54°39'27"W	7.74'
C19	15.50'	5.65'	20°52'48"	S79°33'36"W	5.62'
C20	15.50'	13.47'	49°48'18"	S65°05'51"W	13.05'
C21	15.50'	24.35'	90°00'00"	N45°00'00"W	21.92'
C22	400.00'	160.72'	23°01'19"	N27°53'56"E	159.64'
C23	400.00'	125.60'	17°59'26"	N7°23'34"E	125.08'
C24	15.50'	24.45'	90°22'20"	S44°48'50"E	21.99'
C25	7815.46'	32.17'	0°14'09"	N89°52'56"W	32.17'
C27	7755.46'	89.64'	0°39'44"	N89°38'35"W	89.64'
C29	15.50'	24.35'	90°00'00"	S45°00'00"E	21.92'
C30	15.50'	24.35'	90°00'00"	S45°00'00"W	21.92'
C34	15.50'	24.35'	90°01'33"	S45°00'47"W	21.93'
PC1	7815.46'	68.22'	0°30'00"	S89°30'51"E	68.22'
PC2	7755.46'	6.47'	0°02'52"	N89°17'17"W	6.47'
PC3	400.00'	286.33'	41°00'47"	N18°54'15"E	280.25'

DEVELOPER
WILDFIRE ESTATES L.L.C.
377 NORTH MAIN STREET
LAYTON, UT 84041
801-898-0643

SURVEY RECORDING DATA

DATE: _____
DRAWING No. _____

CENTER
SECTION 6
T4N, R2W
SLB&M
(NOT FOUND)



811

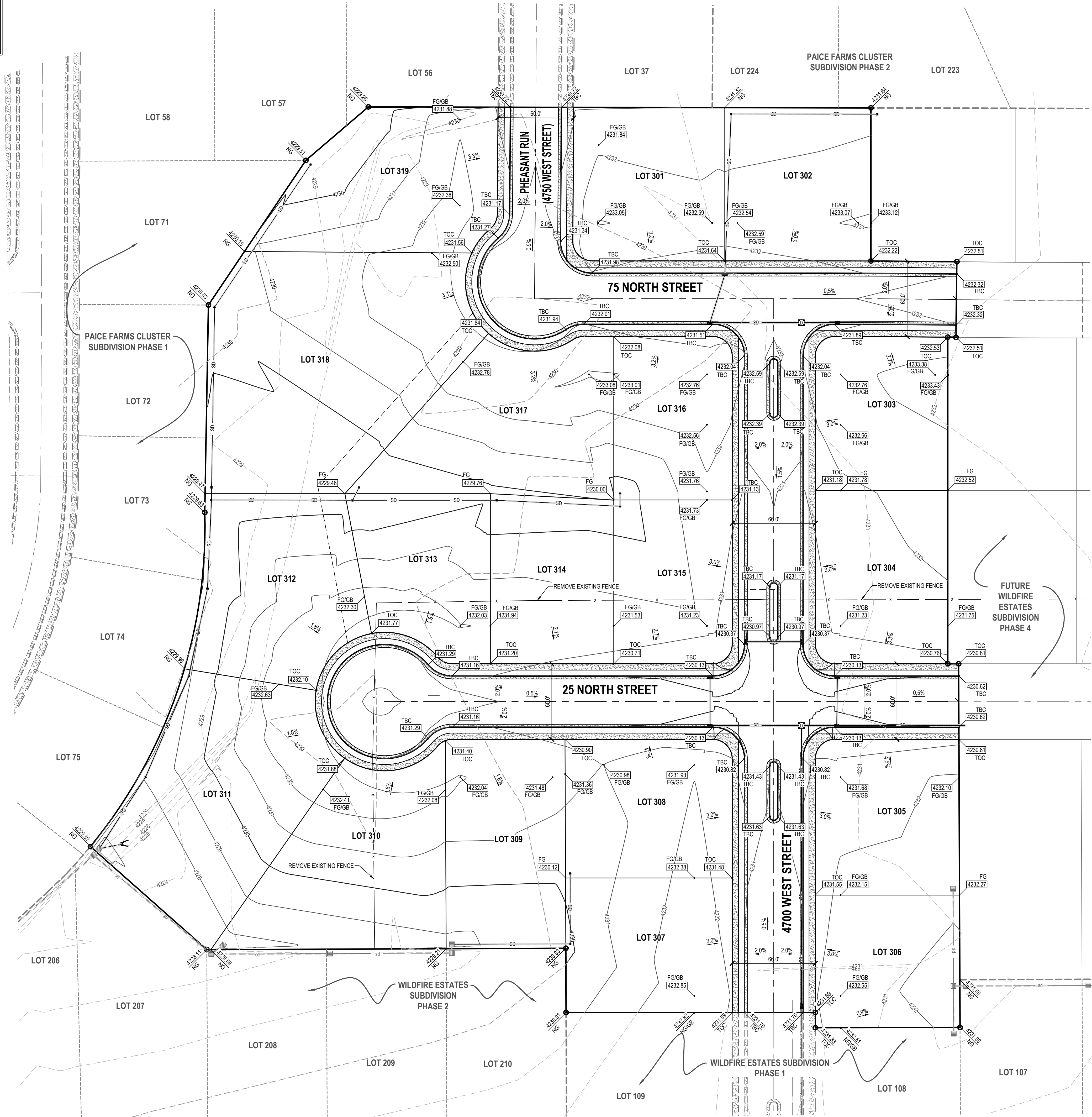
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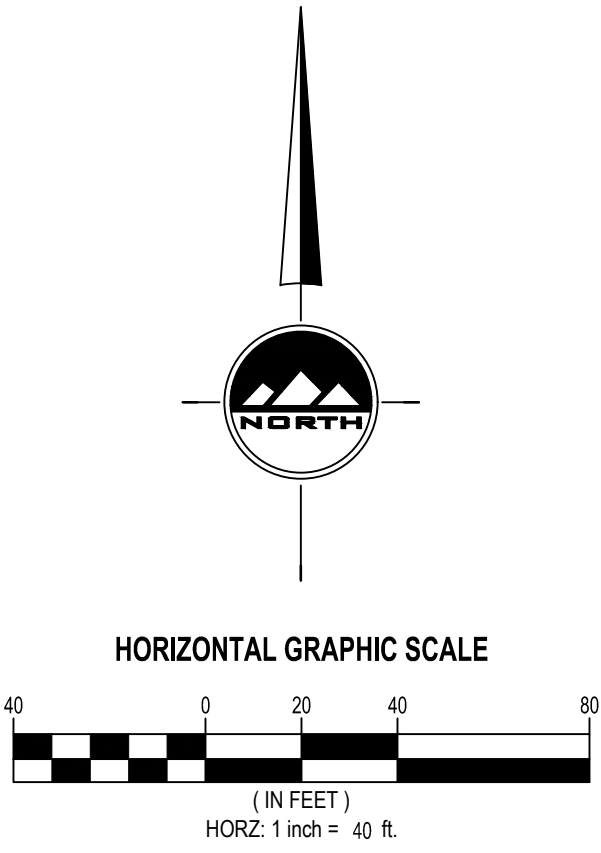
BENCHMARK

NORTH QUARTER CORNER OF SECTION 6
TOWNSHIP 4 NORTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN (FOUND)

ELEVATION = 4236.90



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH WEST POINT CITY STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
 4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
 7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 8. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER WEST POINT CITY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 9. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
 10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 11. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 12. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 13. ALL SUMP PUMPS WILL BE PLACED AT THE CORNER OF THE HOME SITUATED CLOSEST TO THE YARB BOX. DISCHARGE LINES WILL CONNECT TO THE YARD BOX AT EACH LOT CORNER.
 14. ALL LOTS WILL BE GRADED TO DRAIN FRONT YARDS TO THE PUBLIC STREET AND SIDE/REAR YARDS TO THE YARD BOX AT THE BACK OF THE LOT.
 15. NO DETENTION BASIN IS REQUIRED IN THIS PHASE. A DETENTION BASIN WAS CONSTRUCTED IN WILDFIRE PHASE 1 AND ALL STORM RUNOFF WATER FROM WILDFIRE PHASE 3 IS PIPED TO THAT EXISTING BASIN.
 16. ALL FILL MATERIAL MUST BE IMPORTED AND COMPACTED TO MEET WEST POINT CITY STANDARDS AND SPECIFICATIONS.
 17. ALL DITCHES ON THE PROPERTY MUST BE EITHER DIVERTED TO STORM DRAIN INLETS OR ABANDONED.



APPROVED FOR CONSTRUCTION

BY: CITY ENGINEER DATE:

EN SIGN

THE STANDARD IN ENGINEERING

LAYTON

919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY

Phone: 801.255.0529

TOOELE

Phone: 435.843.3590

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WWW.ENSIGNENG.COM

FOR:
BARLOW REALTY
377 NORTH MAIN STREET
LAYTON, UTAH 84041
CONTACT:
DUNCAN BARLOW
PHONE: 801-898-0643

WILDFIRE ESTATES SUBDIVISION
PHASE 3
200 SOUTH 4700 WEST
WEST POINT, UTAH

PROFESSIONAL ENGINEER

James J. Shaffer

No. 10244838-2202

12-09-2020

STATE OF UTAH

LARRY JAMES SHAFER

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
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7			
8			

GRADING PLAN

PROJECT NUMBER
L2365

PRINT DATE
12/14/20

DRAWN BY
J.MOSS

CHECKED BY
T.SHAFFER

PROJECT MANAGER
C.PRESTON

C-100

811

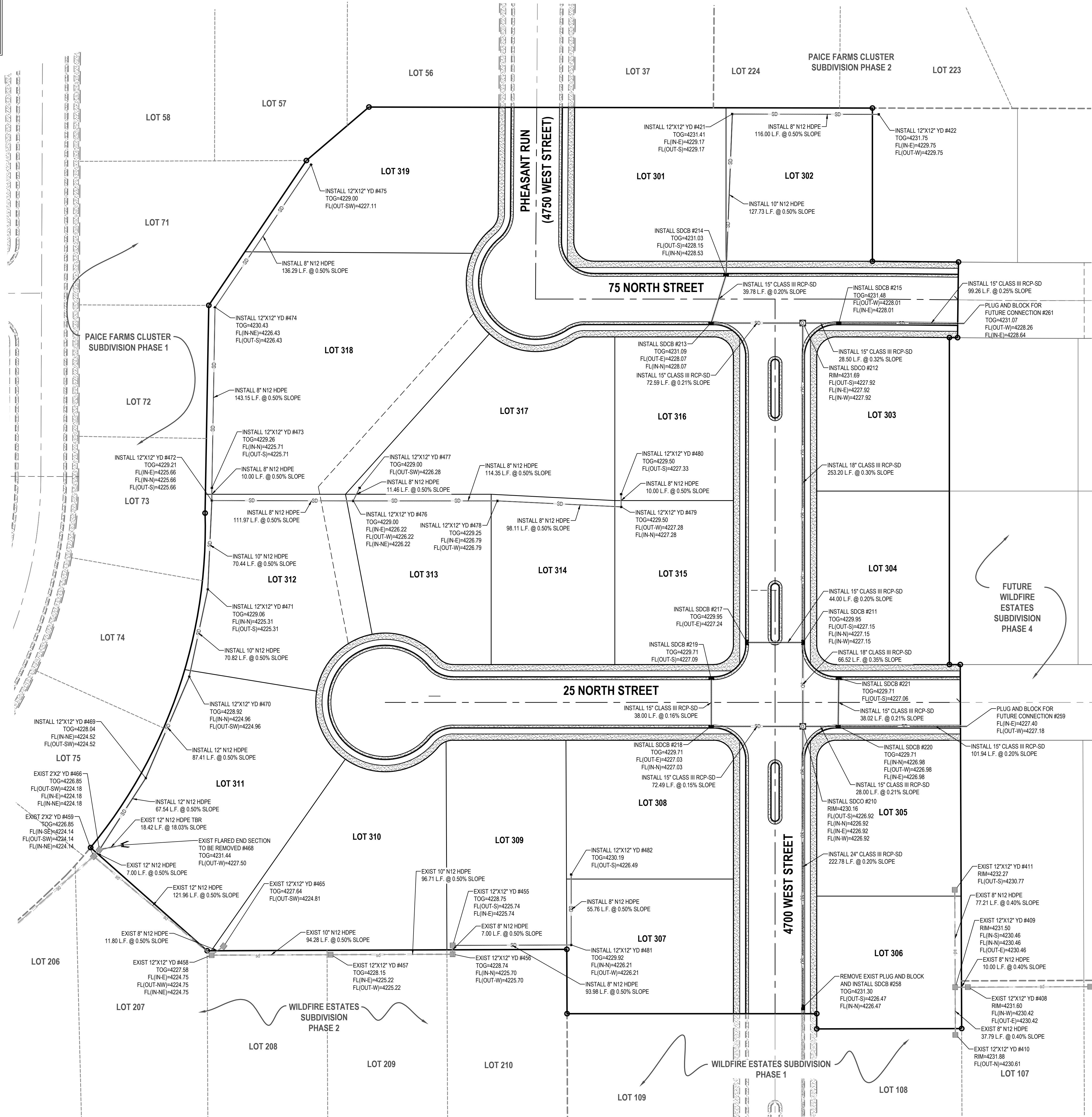
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5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.

7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

8. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER WEST POINT CITY OR APWA STANDARD PLANS AND SPECIFICATIONS.

9. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.

10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.

11. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.

12. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

13. ALL SUMP PUMPS WILL BE PLACED AT THE CORNER OF THE HOME SITUATED CLOSEST TO THE YARB BOX. DISCHARGE LINES WILL CONNECT TO THE YARD BOX AT EACH LOT CORNER.

14. ALL LOTS WILL BE GRADED TO DRAIN FRONT YARDS TO THE PUBLIC STREET AND SIDE/REAR YARDS TO THE YARD BOX AT THE BACK OF THE LOT.

15. NO DETENTION BASIN IS REQUIRED IN THIS PHASE. A DETENTION BASIN WAS CONSTRUCTED IN WILDFIRE PHASE 1 AND ALL STORM RUNOFF WATER FROM WILDFIRE PHASE 3 IS PIPED TO THAT EXISTING BASIN.

16. ALL FILL MATERIAL MUST BE IMPORTED AND COMPACTED TO MEET WEST POINT CITY STANDARDS AND SPECIFICATIONS.

17. ALL DITCHES ON THE PROPERTY MUST BE EITHER DIVERTED TO STORM DRAIN INLETS OR ABANDONED.

EN SIGN

THE STANDARD IN ENGINEERING

LAYTON

919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY

Phone: 801.255.0529

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
BARLOW REALTY
377 NORTH MAIN STREET
LAYTON, UTAH 84041
CONTACT:
DUNCAN BARLOW
PHONE: 801-896-0643

WILDFIRE ESTATES SUBDIVISION
PHASE 3
200 SOUTH 4700 WEST
WEST POINT, UTAH

PROFESSIONAL ENGINEER

DATE: 12/14/20

NO. DATE

1 12/14/20

2 12/14/20

3 12/14/20

4 12/14/20

5 12/14/20

6 12/14/20

7 12/14/20

8 12/14/20

FOR REVIEW

BY: J. MOSS

DRAINAGE PLAN

PROJECT NUMBER: L2365

PRINT DATE: 12/14/20

DRAWN BY: J. MOSS

CHECKED BY: T. SHAFFER

PROJECT MANAGER: C. PRESTON

C-101

West Point City Council

36

April 6, 2021